

SCREENSHOTS OF AUGUST 25, 2020 PRESENTATION REGARDING

PALM-MAR VISTA-DEL REY COMMUNITY PLAN UPDATE

BY THE DEPARTMENT OF CITY PLANNING (DCP)
AT THE MAR VISTA COMMUNITY COUNCIL
COMMUNITY PLAN SUBCOMMITTEE MEETING



Palms-Mar Vista-Del Rey Community Plan Update

Mar Vista Community Council
Community Plan Update
Subcommittee
08/25/2020



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LOS ANGELES
CITY PLANNING

2020 Census: Be Counted!

- National headcount every 10 years
- Los Angeles is the hardest-to-count city in the nation
- Determines political representation
- Determines billions of dollars of federal funding for healthcare, transportation, affordable housing, education, and more
- The Mayor's census team is holding events through the end of September to help people respond to the census. Visit bit.ly/censuscalendar for more information.

The census response period ends September 30, 2020

Census takers start going door-to-door August 11 to households who haven't responded.



My2020Census.gov



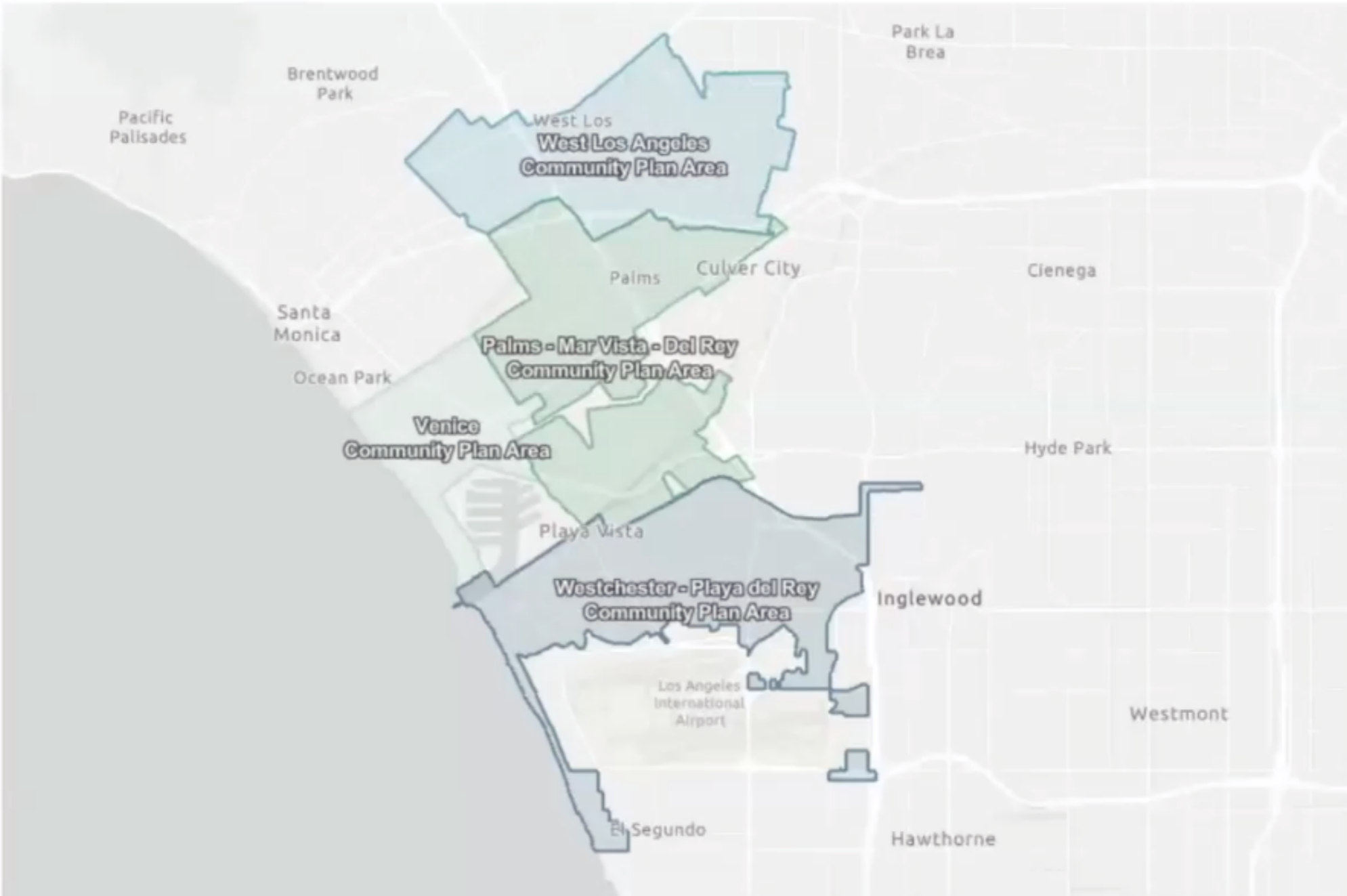
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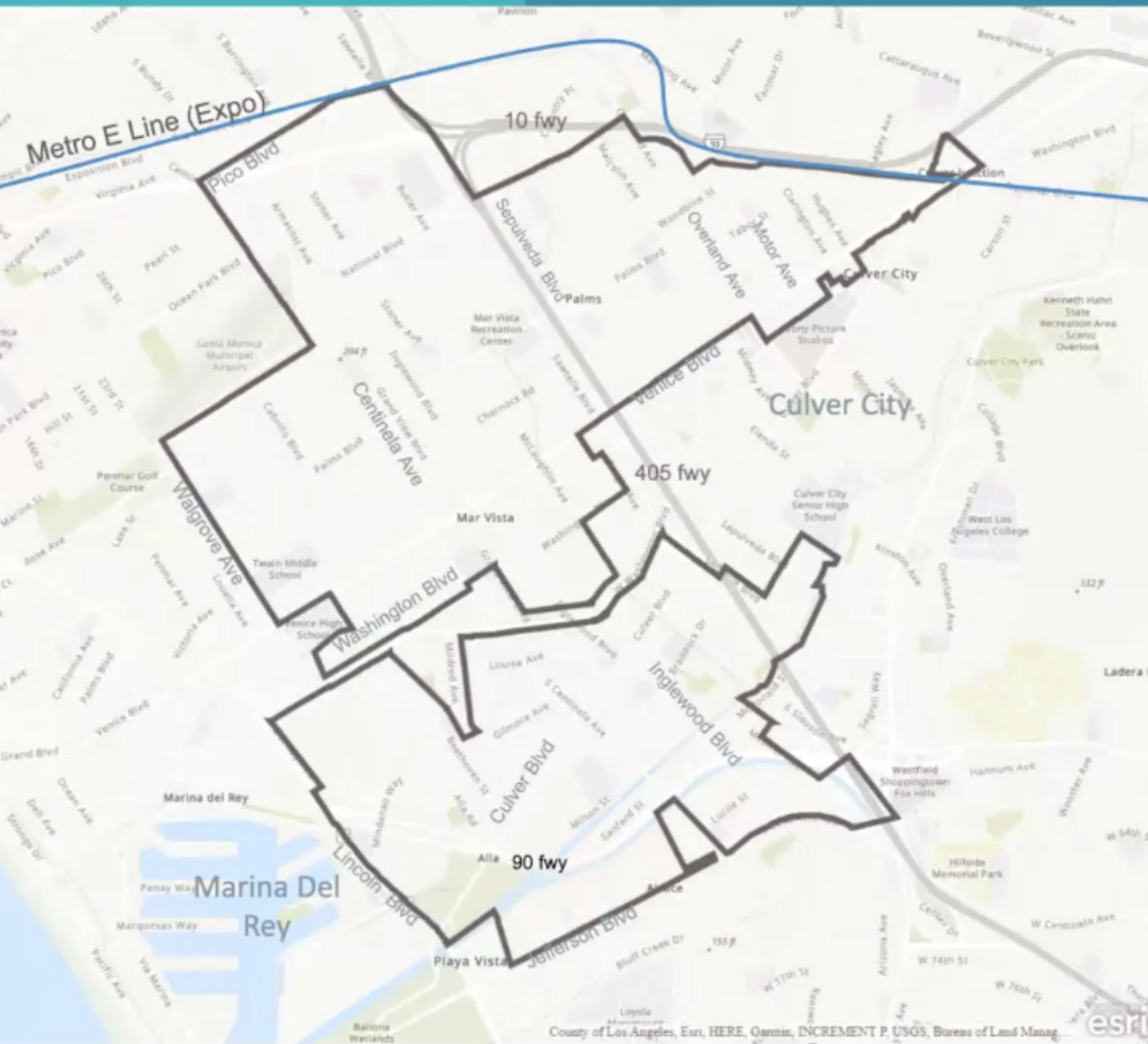


by mail



GEOGRAPHICAL CONTEXT





Palms-Mar Vista-Del Rey Community Plan Area

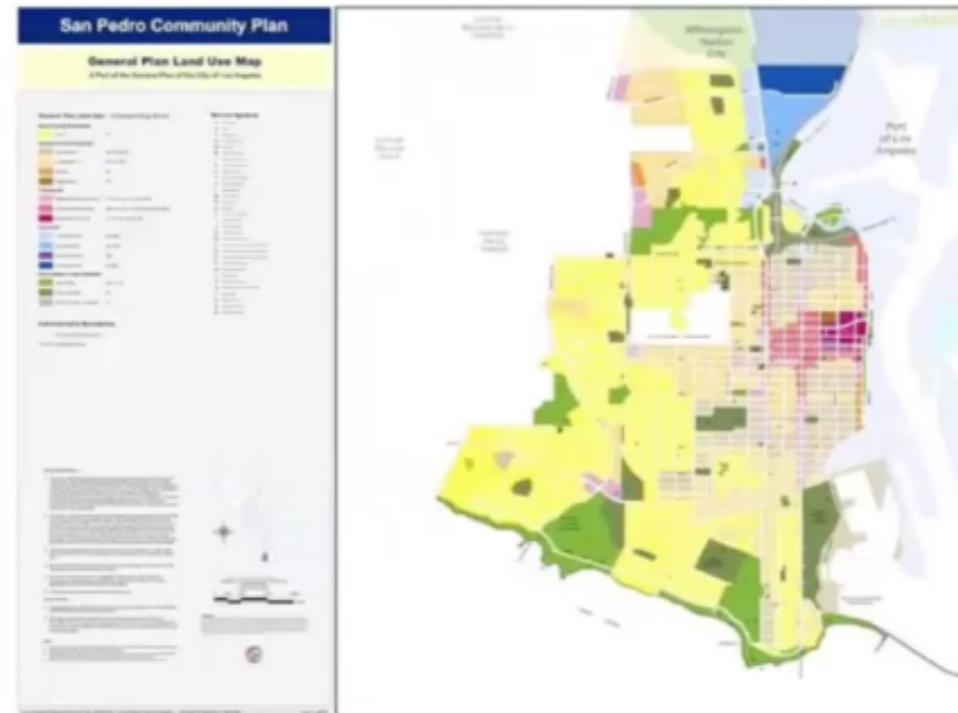
- 5,257 Acres (8.2 square miles)
- Bisected by Culver City
- 405, 10, and 90 Freeways
- Serviced by Metro E Line
- Proximity to jobs, schools, and coastal resources

COMMUNITY PLAN UPDATE COMPONENTS



Community Plan Text:

- Goals & Policy
- Programs
- Guiding Principles
- Vision Statement



Land Use Map:

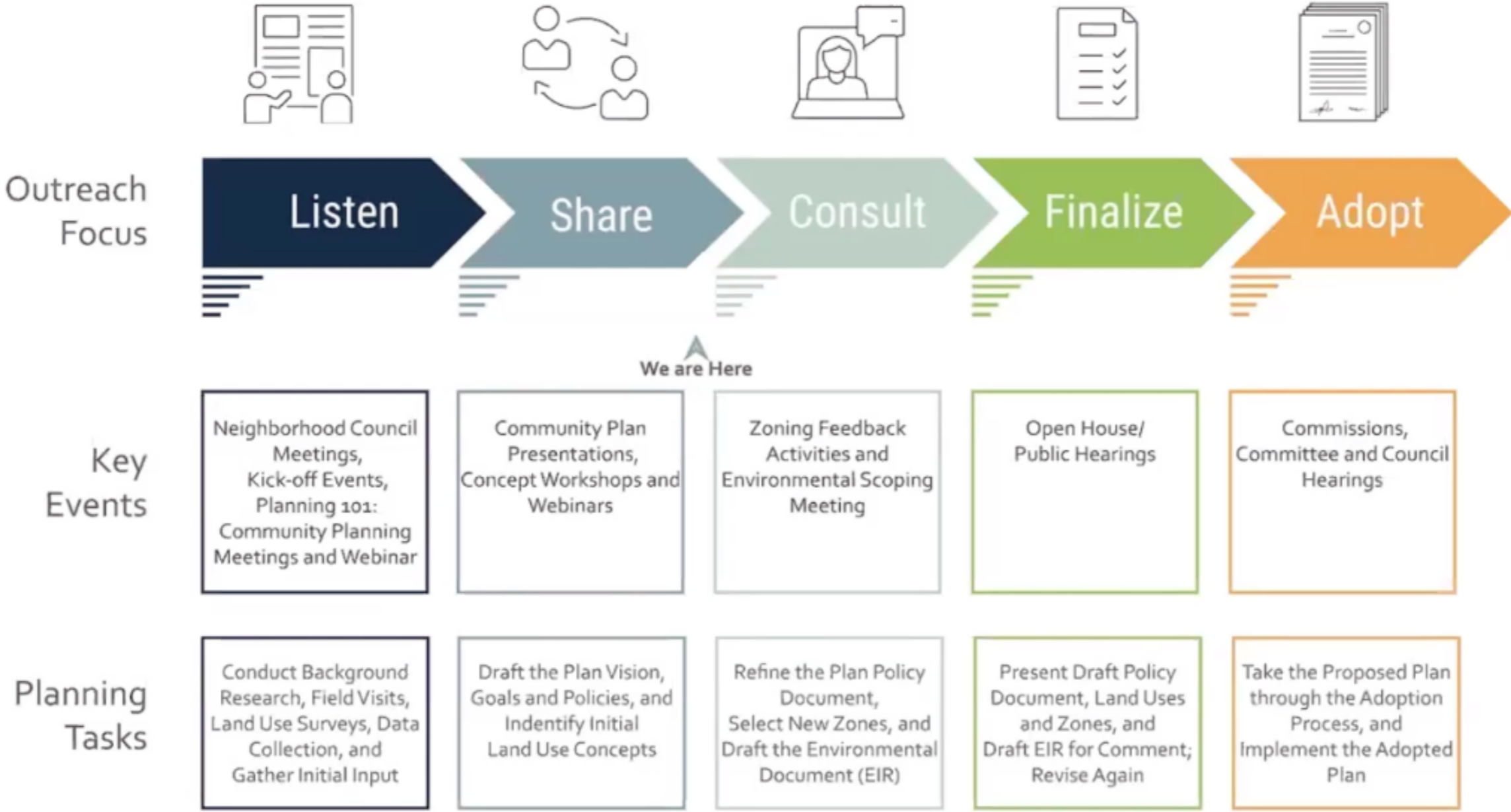
- Land Use Designations
- Street Designation



Implementation:

- New Zones
- New Zoning Overlays

COMMUNITY PLAN OUTREACH PROCESS



The overarching themes guiding the Updates:

- Climate Change
- Equity
- Housing and Jobs
- Strong and Inclusive Economy



Housing

Increase housing opportunities at different affordability levels.



Accommodating Growth

Accommodate growth in a strategic, inclusive, equitable, and sustainable manner.



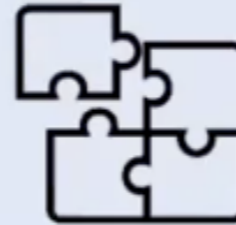
Mobility

Promote a safe, effective, walkable, and multi-modal transportation network.



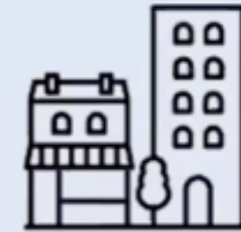
Jobs & Employment

Support a thriving and inclusive economy.



Design & Compatibility

Strengthen neighborhood character.



Complete Neighborhoods

Encourage vibrant, healthy, complete neighborhoods.



Industrial

Preserve industrial land and support reimagined 21st century industrial uses.



Open Space

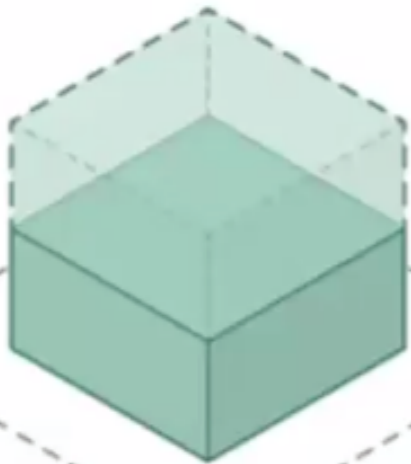
Expand access and connections to open space.



Climate Change Resilience

Promote resource protection, resiliency planning and climate change adaptation.

NEW ZONING TOOLS



FORM

How do you envision the built environment in your neighborhood?



FRONTAGE

How should buildings be experienced by people ?



USE

How should buildings be experienced by people ?



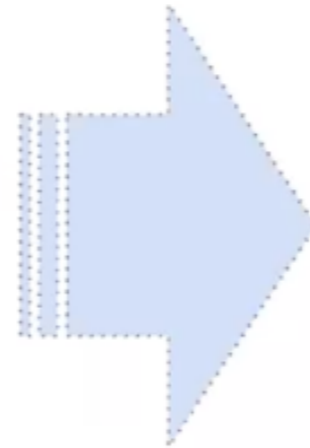
DENSITY

How can we gracefully accomodate more people?

CHALLENGE

Complicated Regulatory Environment

- Community Plan
- Lincoln Blvd CDO
- Coastal Zone
 - Land Use Plan
- Playa Vista Specific Plan
- Glencoe-Maxella Specific Plan



OPPORTUNITY

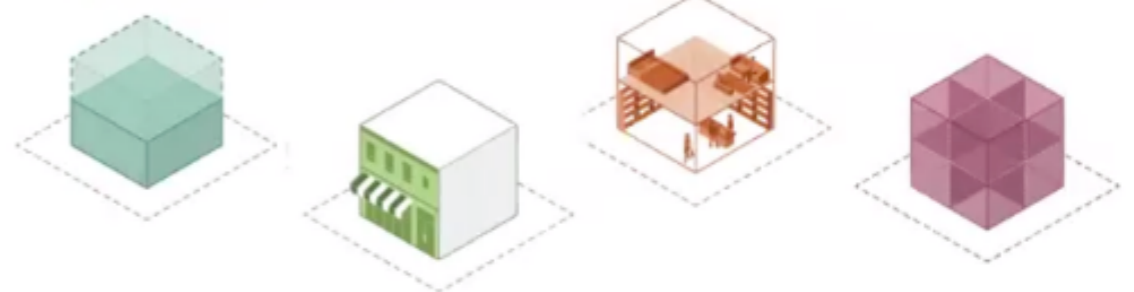
Simplified Regulatory Environment

- Responsive to Community needs
- Adaptable to future policy needs
- Visual and easy to understand

Tools that do not meet local needs.

Tools that are **customized to the local context.**

- Effective implementation of community's vision





Comments by
September 15, 2020

DRAFT CONCEPTS OPEN HOUSE

Westside Community Plans Update

Los Angeles City Planning | August 7, 2020

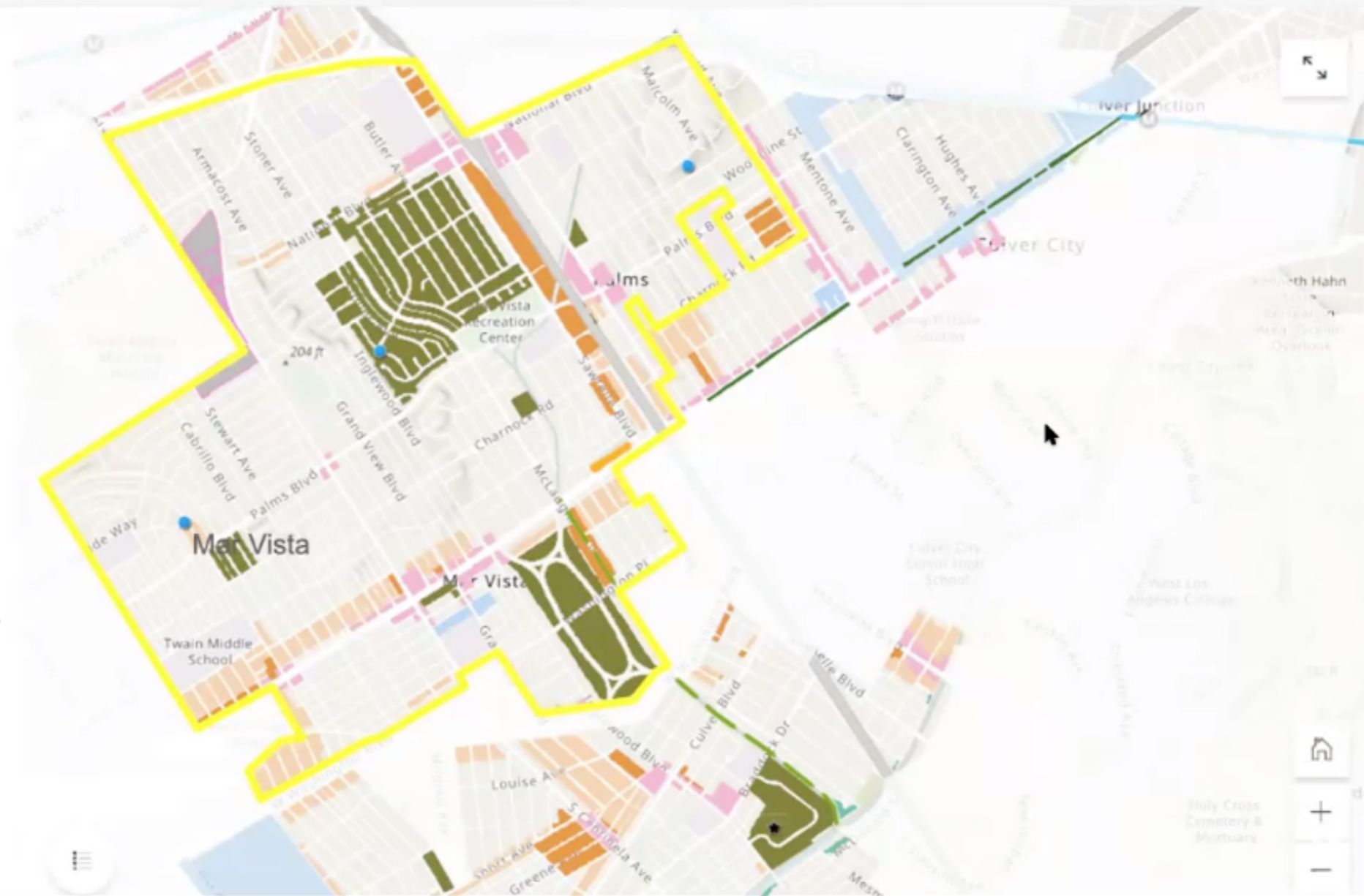




OVERALL DRAFT CONCEPTS

Create opportunities for equitable transit-oriented developments that support affordable housing, walkability, complete streets, and livable places.

OVERVIEW OF DRAFT



[Intro](#)[West Los Angeles](#)[Palms-Mar Vista-Del Rey](#)[Venice](#)[Westchester-Playa del Rey](#)[Learn More](#)[Submit Comments](#)

Submit Comments

Thank you for joining us. We'd appreciate if you took a few minutes to provide us with comments with regards to the proposed vision and draft map concepts, as well as feedback on your online experience. Please fill out the embedded survey feedback form below or click on the button to open up the form in a separate window. We would like to encourage the public to submit their feedback regarding the Draft Concepts by **Friday August 31st, 2020 (extended to Tuesday, September 15, 2020)**.

[FEEDBACK FORM](#)

Comments by
September 15, 2020

You may also submit any comments to planning.thewestside@lacity.org or mail-in your comments to planning staff at [LA City Hall 200 N. Spring Street, Room 667, LA, CA 90012](#)

Feedback Form



First Name*

Last Name*

E-Mail*

Proposed Draft Concepts

Answer the questions below to share your thoughts.

Which community plan area are you providing comments for?

West Los Angeles

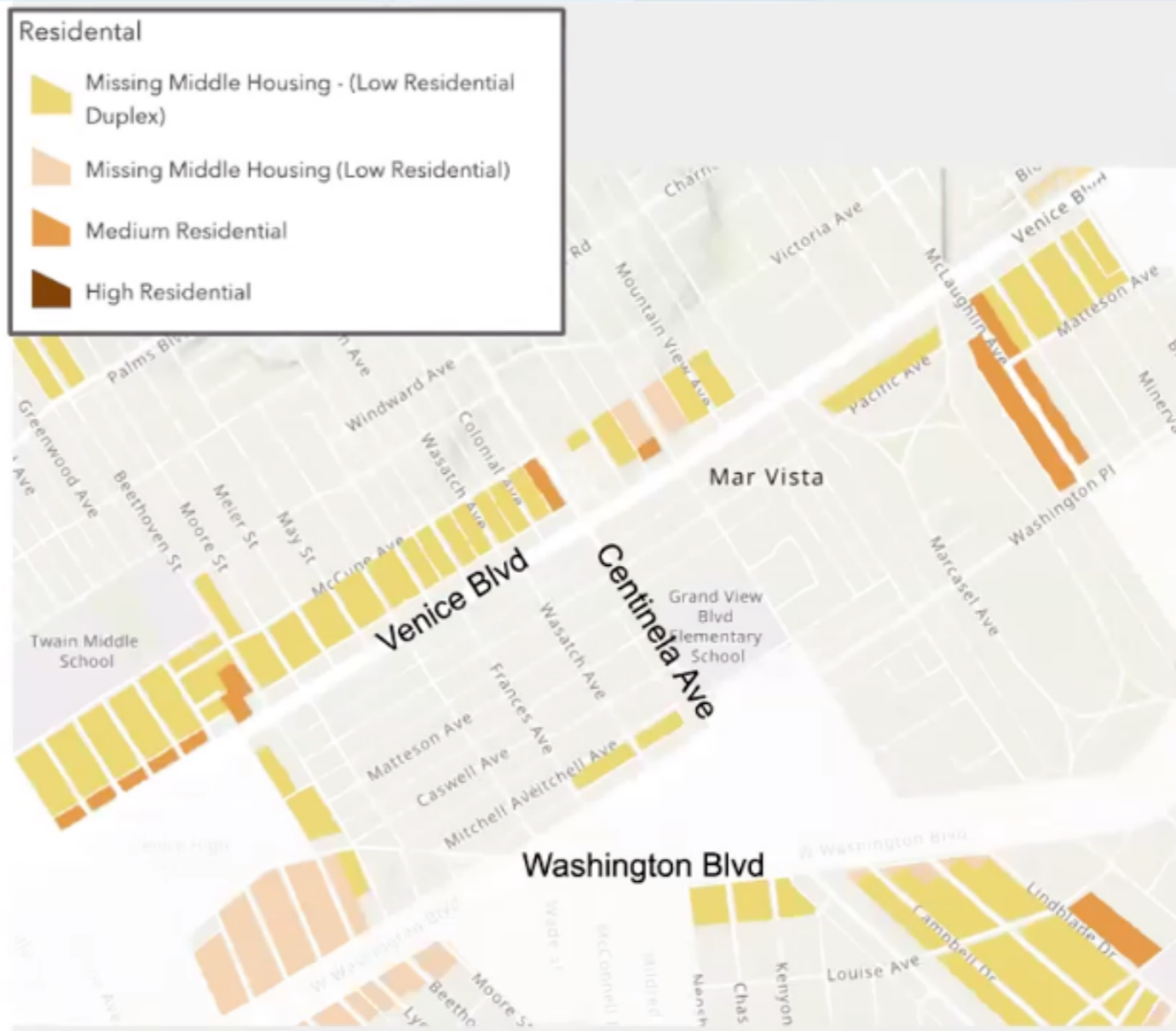
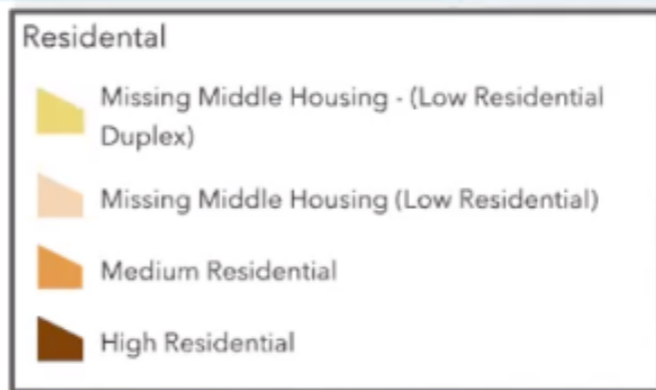
Palms - Mar Vista - Del Rey

Venice

Westchester - Playa del Rey

Residential Draft Concepts

Support thriving residential neighborhoods with proximity to jobs, schools, transit options and commercial areas



Residential Draft Concepts

Missing Middle Housing

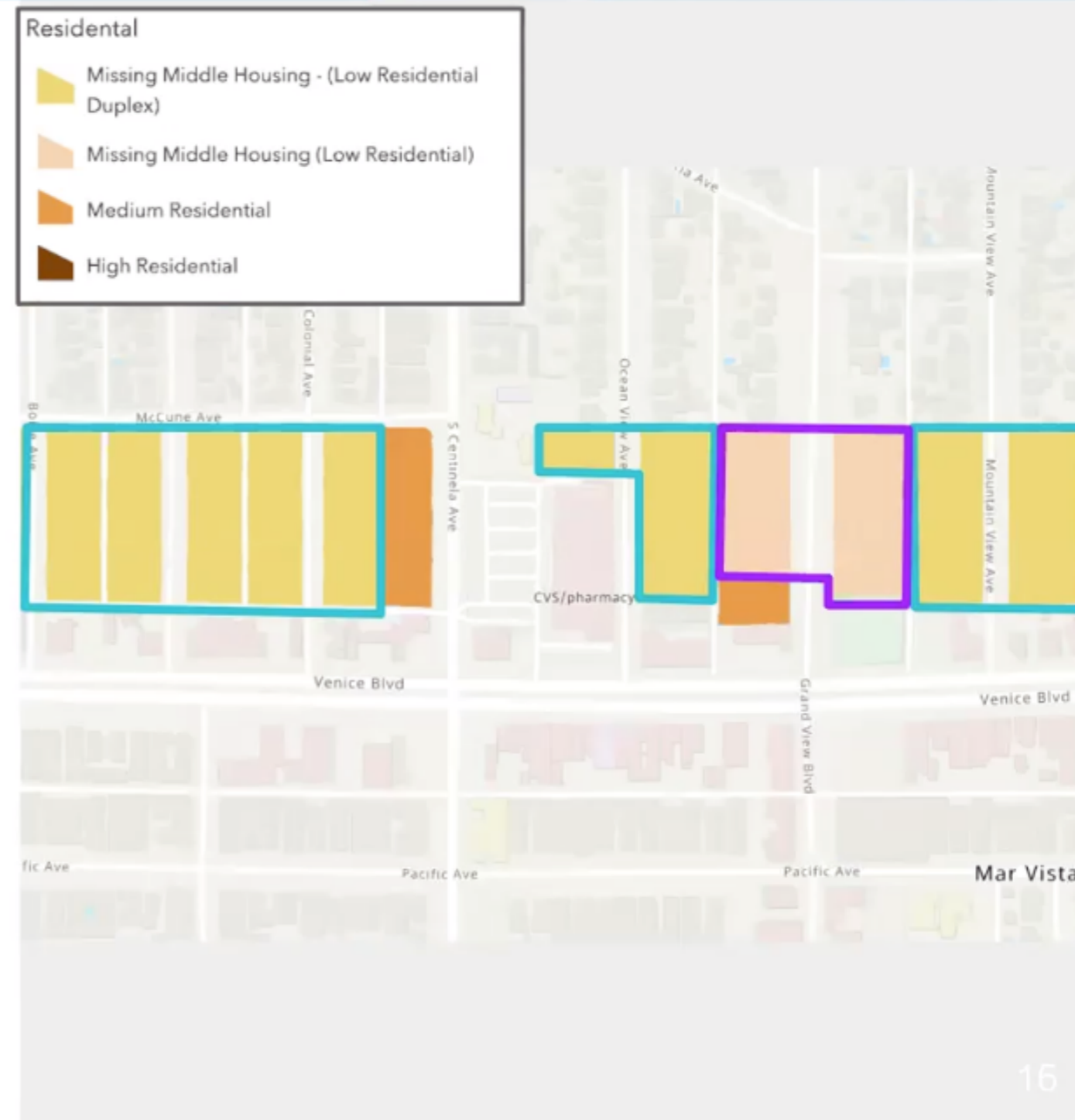
Allows multi-unit housing typologies that are compatible with the form and scale of single-family residential homes in the area. 1-4 story height range is only a range.

(1) *Low Residential - Duplex:*

- Includes two primary residences.

(2) *Low Residential*

- May include duplex, triplex, fourplex, courtyard apartments, bungalow courts, and townhouses.



Draft Concept: Residential

Medium Residential

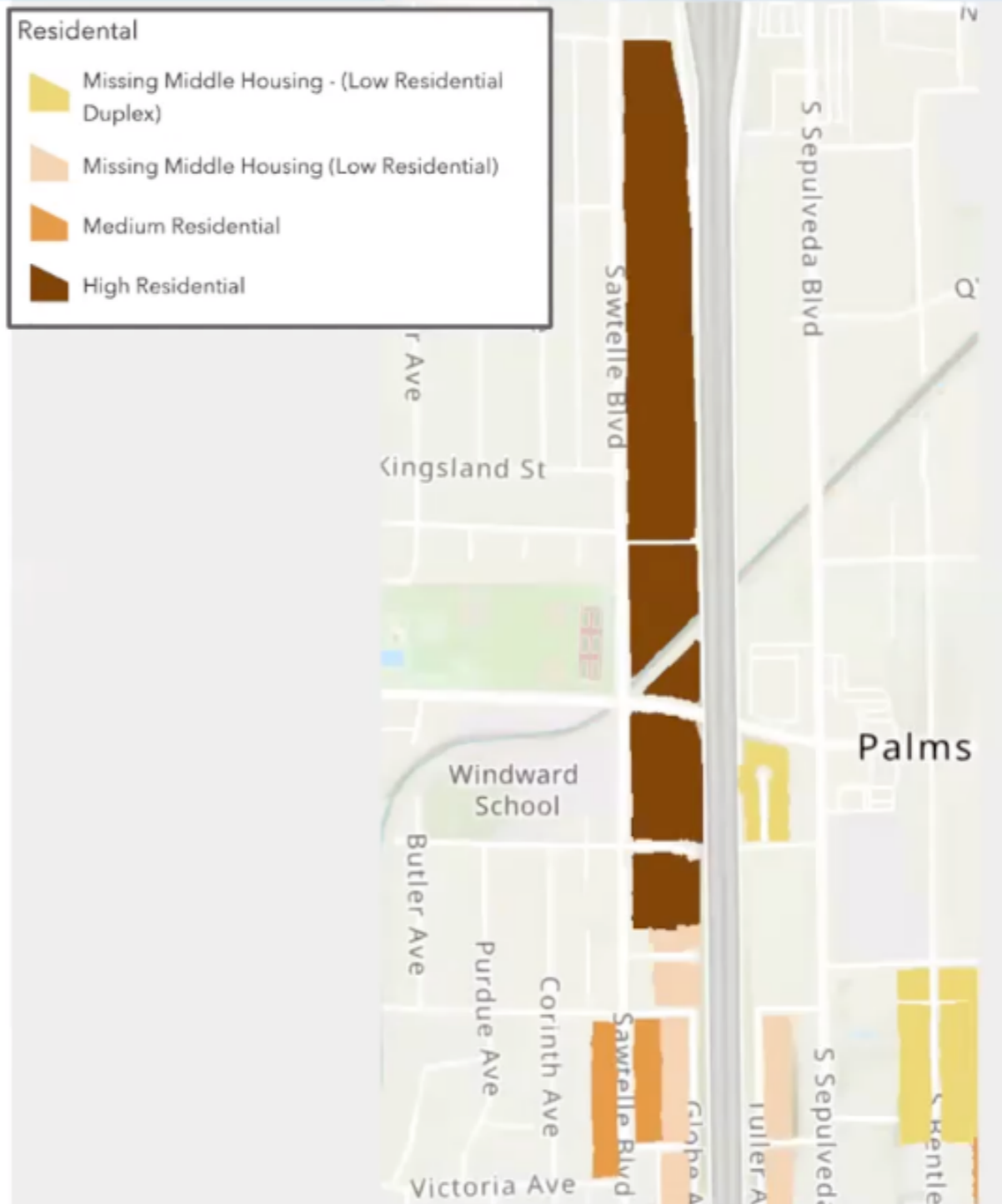
- Located along or near major corridors and high-quality transit.
- Allows residential-only buildings typologies.
- Establishes density requirements to ensure there is no net loss of housing units.
- Introduces a customized affordable housing incentive system that would provide more development rights in exchange for a higher number of affordable units.
- Allows development with heights ranging from 2-5 stories.

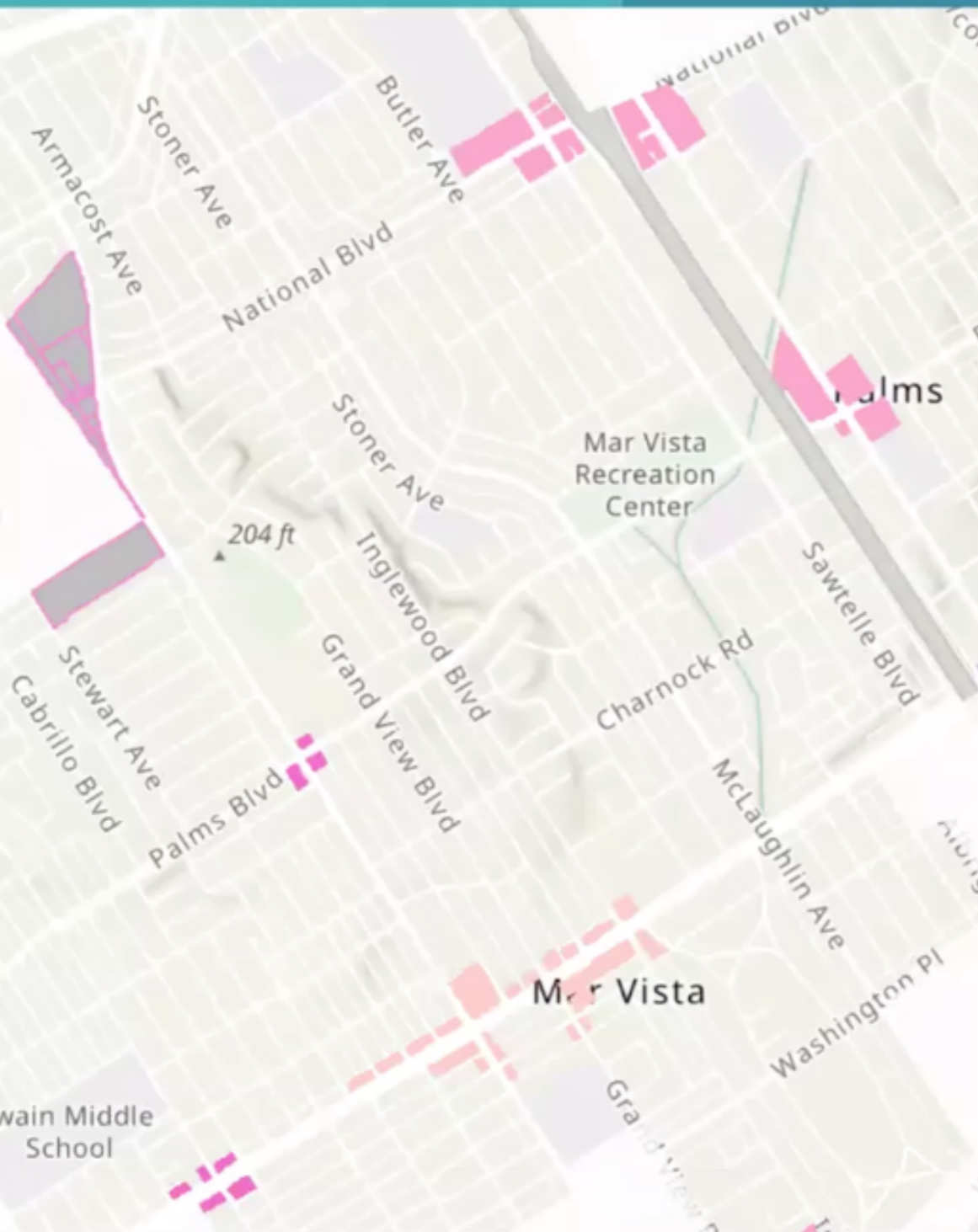


Draft Concept: Residential

High Residential

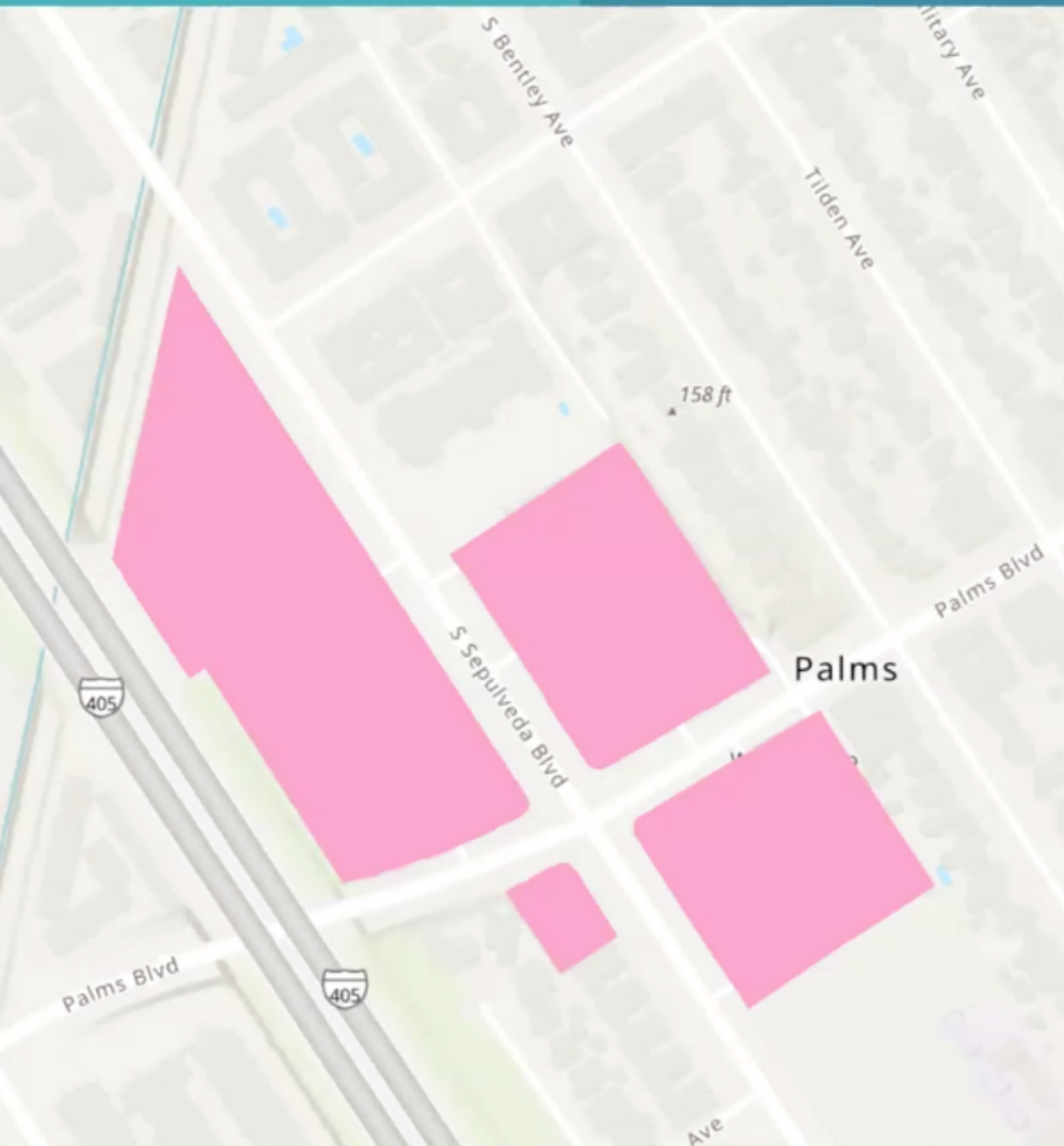
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Commercial Draft Concepts:

Create walkable, well-designed commercial districts with expanded housing opportunities



Commercial Draft Concepts:

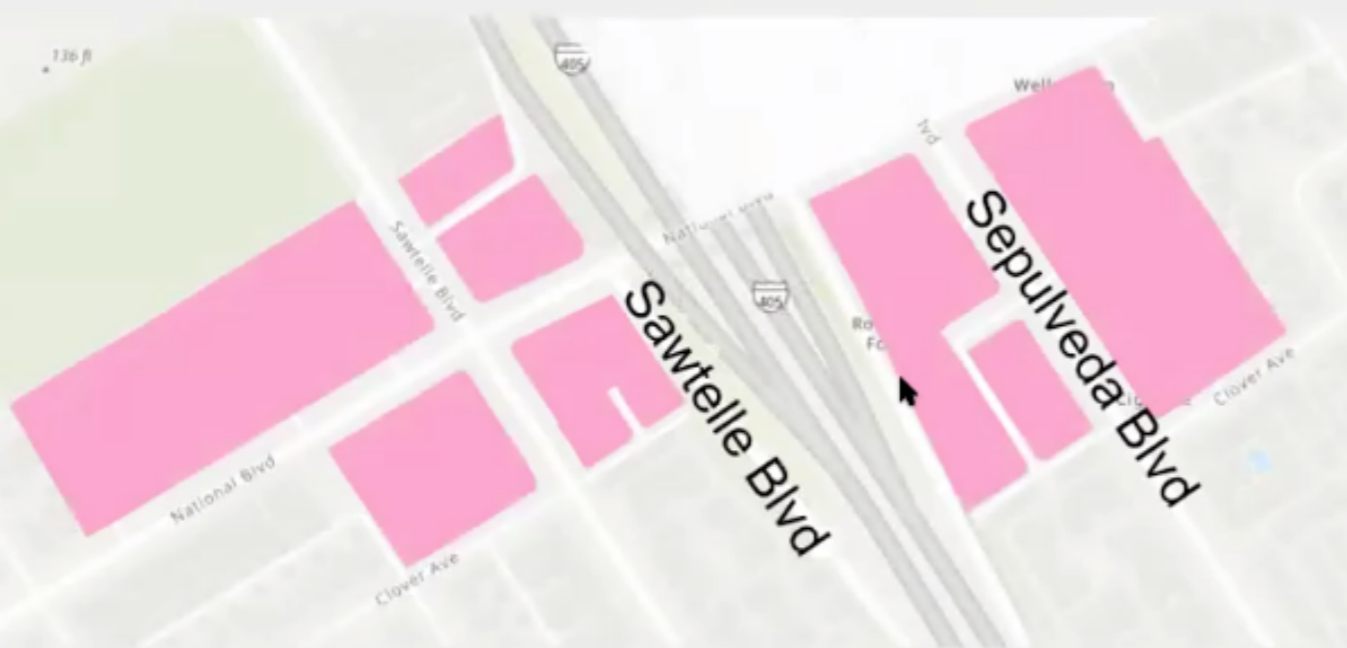
Neighborhood-Serving Node

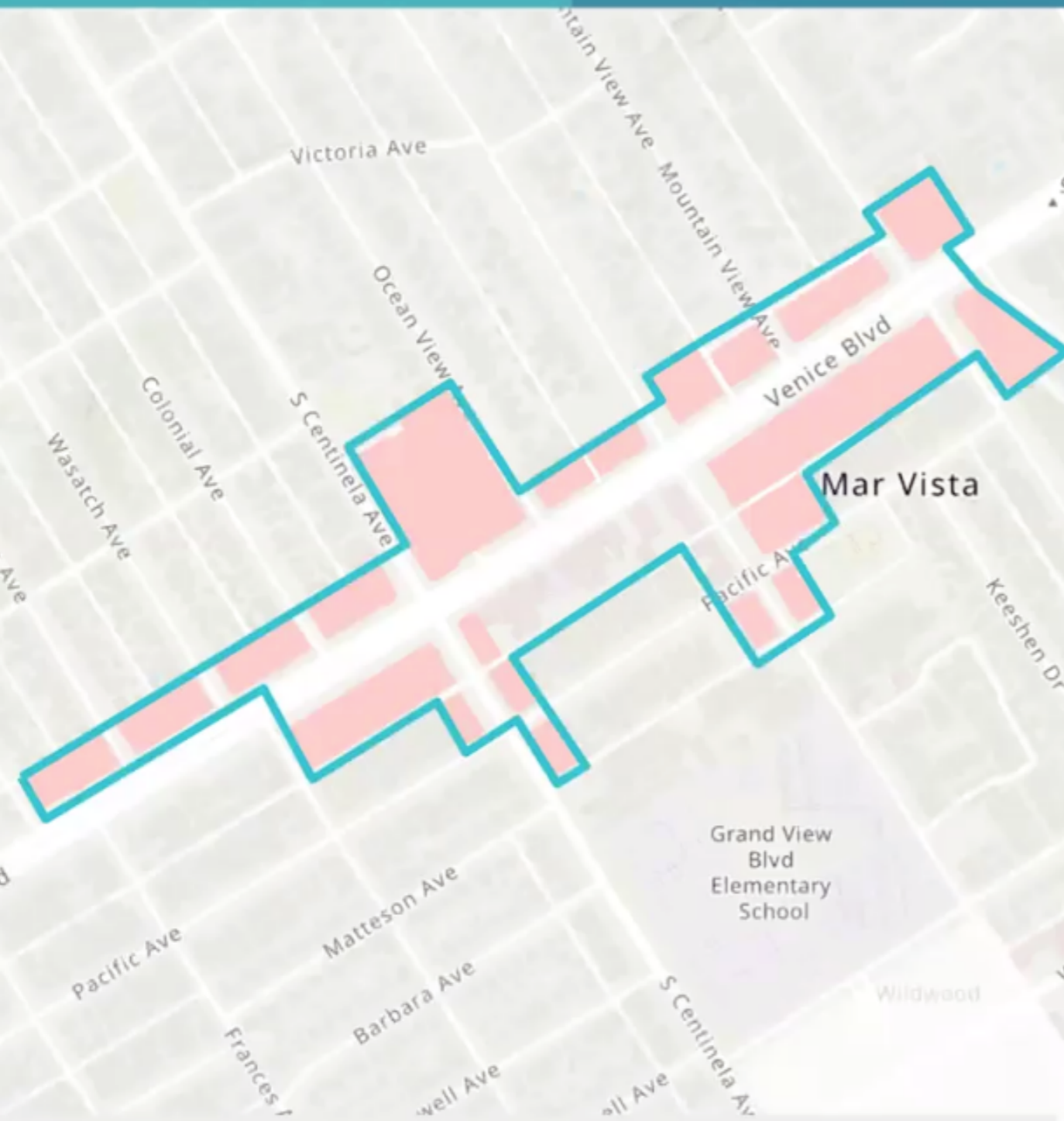
- Located at or near key intersections of major corridors
- Allows commercial/residential mixed-use featuring neighborhood-serving uses such as grocery stores, medical offices, cafes, restaurants with outdoor dining, etc.
- Requires ground-floor commercial and allows housing above the ground floor.
- Establishes pedestrian-oriented design standards
- Requires upper story stepbacks and transitional heights when adjacent to low-scale residential.
- Allows development with heights ranging from 4-6 stories. A potential for additional height when affordable housing is provided.

Commercial Draft Concepts:

Neighborhood-Serving Node

- Located at or near key intersections of major corridors
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Commercial Draft Concept:

Downtown Mar Vista

- Located in key areas of the community plan area.
- Allows community-serving commercial, multi-unit residential uses, offices, cultural and entertainment facilities, schools, libraries, and community and wellness centers.
- Requires ground-floor commercial in mixed-use projects.
- Encourages walkability through pedestrian-oriented design such as outdoor dining, building setbacks, landscaping, and public plazas.
- Heights range from 2-4 stories.
- A potential for additional heights when affordable units are provided.



Draft Concept: Industrial

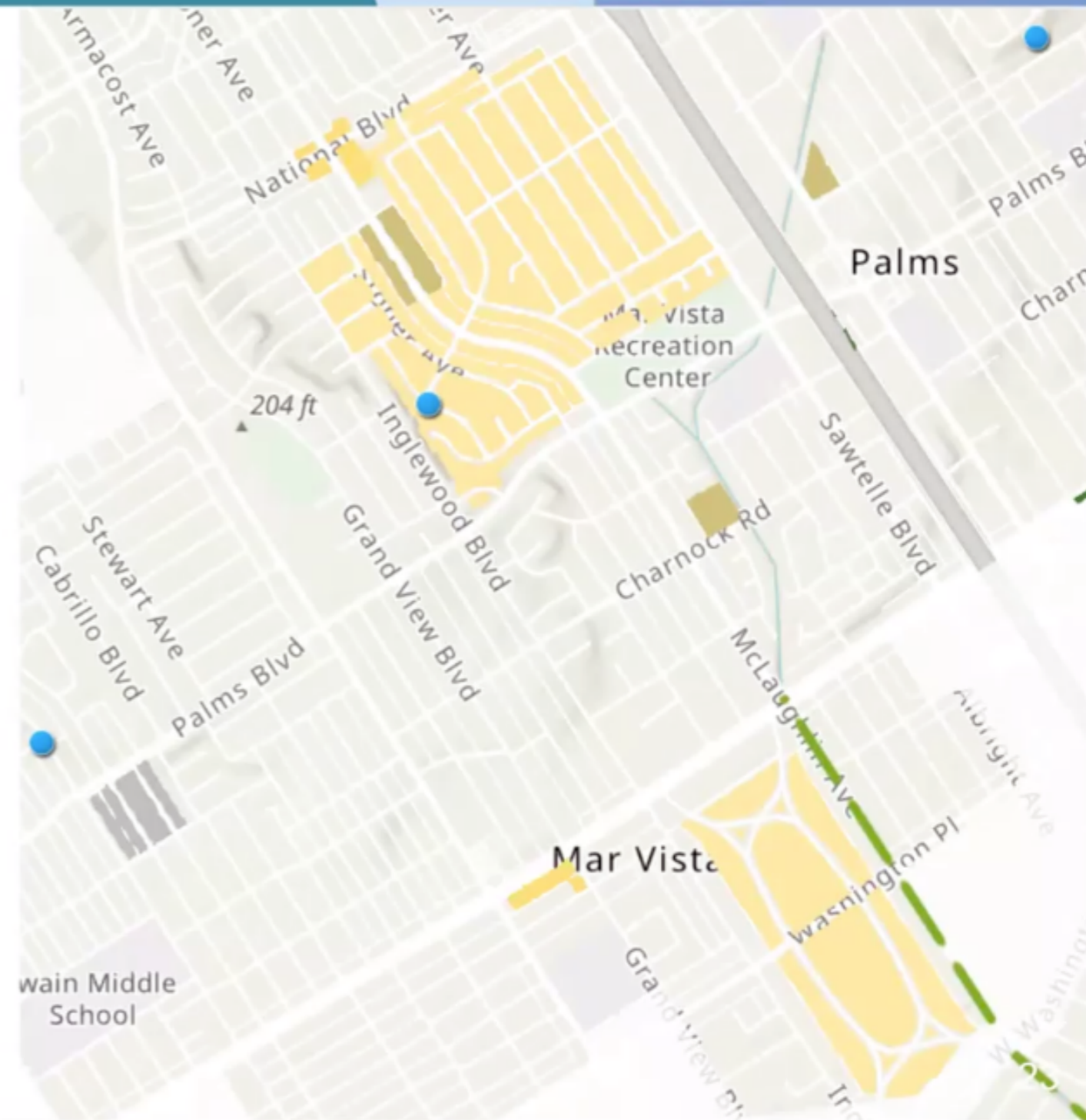
Live/Work Low Scale

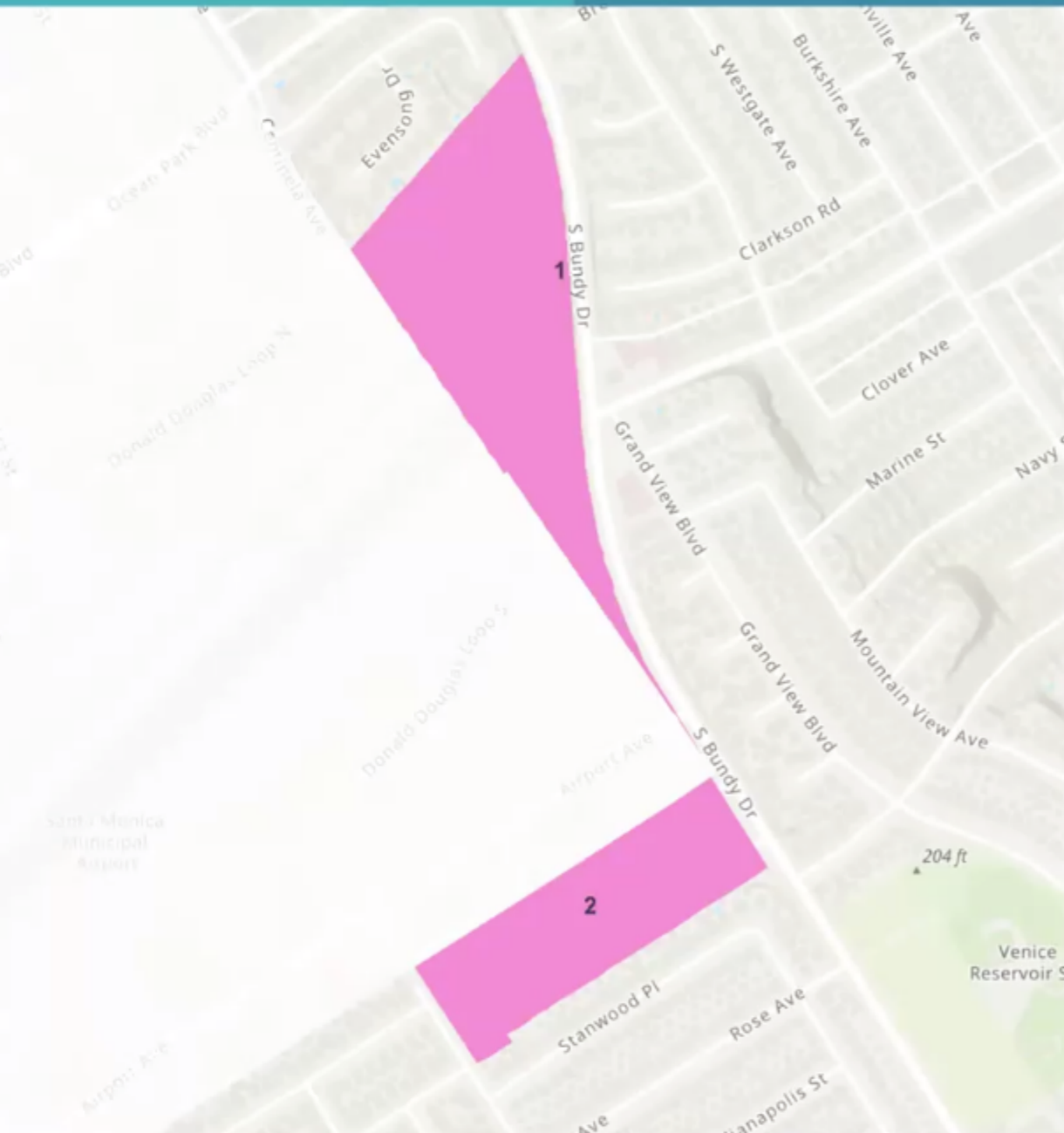
- Retains and allows employment focused uses such as clean tech, creative industries, and other light industrial uses.
- Encourages live-work (industrial/residential) uses.
- Allows for supportive retail to serve workers and residents in the area such as cafes, gyms, restaurants, bars, and grocery stores.
- Prohibits schools and storage facilities.
- Establishes development standards that promote pedestrian-oriented, high quality design and open space.
- Allows development with heights ranging from 2-4 stories.

Historic Areas & Ecological Resources

Recognize historic and cultural resources and protect and expand access to ecological treasures.

- Recognize SurveyLA identified Historic Districts and Planning Districts.
- Identify and memorialize Public Street Stairs in the plan area through community plan policies.
- Extend the Ballona Creek Bike Path behind Mar Vista Gardens along McLaughlin Avenue ending at Venice Boulevard.
- Create north/south bicycle and pedestrian connectivity and expand access to ecological resources and open space





Opportunity Sites

We need additional community input on the future land use of two sites. Through the Palms-Mar Vista-Del Rey Community Plan Update the community has an opportunity to re-envision the site's future use.

- (1) **Santa Monica Airport**
 - Will be closing in 2028. The site currently has 17 acres that reside within the City of Los Angeles.
- (2) **Santa Monica College - Bundy Campus**
 - A 10 acre site within the City of Los Angeles. Currently, the site is home to a four-story campus building with a large portion of the site dedicated to surface parking and landscaping.

Regional Center

- Focal point in the City for regional commerce, identity, and activity; however, this area is part of the Ballona Wetlands, and structural development is not permitted.
- **Should we evaluate shifting this Regional Center boundaries north along Lincoln Boulevard to accommodate more jobs and housing in the area?**



Q & A

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