

NOTES

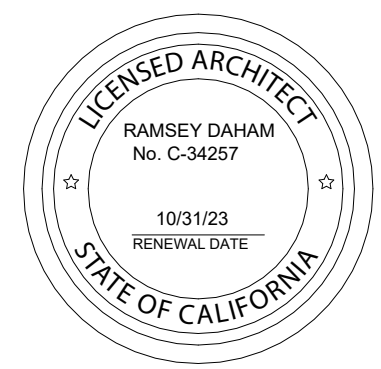
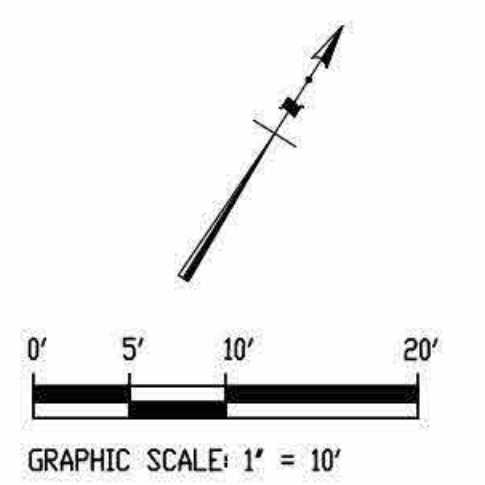
LEGAL DESCRIPTION:
 LOT 188 OF DEL MAR TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10, PAGE 76 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 4236-019-024

NOTES:
 1. THE LEGAL DESCRIPTION, BOUNDARIES AND EASEMENT SHOWN HEREON ARE PER RECORD DATA.
 2. TITLE REPORT PROVIDENT TITLE COMPANY
 ORDER NO.: 10513235
 DATED: AUGUST 23, 2021
 3. MISC. DATA
 TOTAL PROPERTY AREA: 7,101 SQ.FT.

BENCH MARK:
 TOP OF S.M.H. COVER @ INTERSECTION OF MOORE ST AND ZANJA ST
 STRUCTURE ID NUMBER 53413127 PER CITY OF L.A.
 ELEVATION = 40.40 FT

LEGEND

SANITATION	MISCELLANEOUS	ABBREVIATIONS
S SEWER MAINT HOLE P POWER POLE W WATER VALVE M WATER METER G GAS METER	+ SPOT ELEVATION WOOD FENCE CHAIN LINK FENCE WROUGHT IRON FENCE RETAINING BLOCK WALL FREE STAND BLOCK WALL BOUNDARY LINE TREE: SIZE IN INCHES ASPHALT PAVEMENT CONCRETE PAVEMENT	TC TOP OF CURB EG EDGE OF GUTTER FL FLOW LINE CF CURB FACE CL CENTERLINE EP EDGE OF PAVEMENT TW TOP OF WALL WF WALL FACE BW BACK OF WALK FW FRONT OF WALK DWY DRIVEWAY



12747 MITCHELL AVE

Revision Schedule

Revision Number	Revision Date

EXISTING SITE SURVEY

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:35:28 PM
SCALE	
JOB #	23-A001

PREPARED BY:
NICK KAZEM, INC.
 4966 TOPANGA CYN. BLVD.,
 WOODLAND HILLS, CA 91364
 (818) 999-9890



PREPARED FOR:
AMIR SAFAEI
 (949) 280-6731

REV. NO	DATE	REVISION	BY:	APP.
SCALE	CHK'D BY	APPROVED BY:	R.C.E. NO.	DATE
1" = 10'				9-19-2021
			DWG. NO.	
			4015-ARCH	

ARCHITECTURAL SURVEY

FOR
 12747 MITCHELL AVE. LOS ANGELES, CALIFORNIA 90086

SHEET 1 OF 1 SHEET

Soprema, Inc.
RE: Soprema ALSAN RS 230 Field and RS 260 LO Field Liquid Applied Roof Covering System.

The roof covering systems described above are approved as Class A roof coverings subject to the following conditions:

- 1. The roofing materials shall be delivered to the job site in sealed containers identified by the manufacturer's name and product designation.
- 2. Application of the components shall be on a concrete deck in accordance with the manufacturer's instructions consistent with the description and requirements herein. (A copy shall be available at the job site).

DISCUSSION

The clerical modification is to update the report to the 2017 Los Angeles City Building Code and to update the contact person and phone number.

The report is in compliance with the 2017 Los Angeles City Building Code.

The approval was based on tests in accordance with ICC Evaluation Services Acceptance Criteria for Membrane Roof Covering Systems (AC 75)

Addressee to whom this Research Report is issued is responsible for providing copies of it, complete with any attachments indicated, to architects, engineers and builders using items approved herein in design or construction which must be approved by Department of Building and Safety Engineers and Inspectors.

This general approval of an equivalent alternate to the Code is only valid where an engineer and/or inspector of this Department has determined that all conditions of this approval have been met in the project in which it is to be used.

QUAN NGHIEM, Chief
Engineering Research Section
201 N. Figueroa St., Room 880
Los Angeles, CA 90012
Phone- 213-202-9812
Fax- 213-202-9943

DE
SECTION
12/28/2017
12/28/2017
12/28/2017

RR 25908
Page 2 of 2

CITY OF LOS ANGELES
BOARD OF BUILDING AND SAFETY COMMISSIONERS
VAN AMBATTELLOS, PRESIDENT
E. FELICIA BRANNON, VICE PRESIDENT
JOSELYN GEAGA-ROSENTHAL, GEORGE NOVAKUNJAN, JAVIER NUÑEZ
ERIC GARCETTI, MAYOR
FRANK M. BUSH, SUPERINTENDENT OF BUILDING
OSAMA YOUNAN, P.E., EXECUTIVE OFFICER

RESEARCH REPORT: RR 25908
(CSI # 07560)

Expires: May 1, 2020
Issued Date: April 1, 2018
Code: 2017 LABC

Local Representative: Freddy Riofio
(203) 262-9245

GENERAL APPROVAL – Renewal and Clerical Modification -Soprema ALSAN RS 230 Field and RS 260 LO Field Liquid Applied Roof Covering System.

DETAILS

ALSAN RS 230 Field liquid applied roof covering system:

- Deck: Concrete deck with maximum 1-inch per foot slope.
- Primer: ALSAN RS 276 primer applied at the rate of 1.0 gallon per 100 ft².
- Base Coat: ALSAN RS 230 Field applied at the rate of 3.91 gallon per 100 ft².
- Reinforcement: While the base coat of ALSAN RS 230 Field is wet, a layer of non-woven, needle punched polyester reinforcement fabric is applied and rolled so that the air bubbles are removed.
- Top Coat: ALSAN RS 230 Field applied at the rate of 1.95 gallon per 100 ft².

ALSAN RS 260 LO Field liquid applied roof covering system:

- Deck: Concrete deck with maximum 1-1/2-inch per foot slope.
- Primer: ALSAN RS 276 primer applied at the rate of 1.0 gallon per 100 ft².
- Base Coat: ALSAN RS 260 LO Field applied at the rate of 3.91 gallon per 100 ft².
- Reinforcement: While the base coat of ALSAN RS 260 LO Field is wet, a layer of non-woven, needle punched polyester reinforcement fabric is applied and rolled so that the air bubbles are removed.
- Top Coat: ALSAN RS 260 LO Field applied at the rate of 1.95 gallon per 100 ft².

RR 25908
Page 1 of 2

LA088-01-01-000-014 AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

DERBIBRITE Modified Bitumen Waterproofing Membrane with a Unique Reflective Surfacing
ADVANTAGES
TECHNICAL CHARACTERISTICS
PRODUCT INFORMATION
ENERGY AND ENVIRONMENT*

DERBIGUM
SDS available on request (800) 727-9872 www.derbigum.com

CITY OF LOS ANGELES
BOARD OF BUILDING AND SAFETY COMMISSIONERS
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- Reinforcement: While the base coat of ALSAN RS 230 Field is wet, a layer of non-woven, needle punched polyester reinforcement fabric is applied and rolled so that the air bubbles are removed.
- Top Coat: ALSAN RS 230 Field applied at the rate of 1.95 gallon per 100 ft².

ALSAN RS 260 LO Field liquid applied roof covering system:

- Deck: Concrete deck with maximum 1-1/2-inch per foot slope.
- Primer: ALSAN RS 276 primer applied at the rate of 1.0 gallon per 100 ft².
- Base Coat: ALSAN RS 260 LO Field applied at the rate of 3.91 gallon per 100 ft².
- Reinforcement: While the base coat of ALSAN RS 260 LO Field is wet, a layer of non-woven, needle punched polyester reinforcement fabric is applied and rolled so that the air bubbles are removed.
- Top Coat: ALSAN RS 260 LO Field applied at the rate of 1.95 gallon per 100 ft².

RR 25908
Page 1 of 2

LA088-01-01-000-014 AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

WALLRACK™ Specifications
DIMENSION DRAWING: NOTE: NEW design conforms to bicycle wheel.
Product: CycleSafe WallRack part# 17502
Capacity: Holds 1 bike
Material: Heavy duty 3/8" wire frame
Finish: Durable polyester powdercoat finish, Red, Blue, Black or Silver, Stainless Steel upon request
Mounting: Wood (finished): 2 - 5/16" lag wood screws, 12" O.C. Concrete/Block: 5/16" lag shield upon request
ORDER INFORMATION:
• WallRack part# 17502 (Red, Blue, Black, Silver) • Extra Mounting lag screw part# 17505 • Concrete lag shield part# 17504 • 45° Angle bracket kit part# 17513 • Stainless Steel WallRack part# 17503

2. Concrete Wall Installation:

A. Tools & Fasteners

- 3/8" Impact Drill
- 1/2" x 3" Long Carbide Drill Bit
- T-30 Torx Bit
- (2) 5/16" Lag Shields Part #17504 (Included)
- (2) 5/16" x 2-1/2" Long Lag Screws Part #17505 (Included)
- Flat Head Screw Driver Bit
- Pencil
- Hammer
- Tape Measure
- Concrete Adhesive
- Blue Line or Laser Level

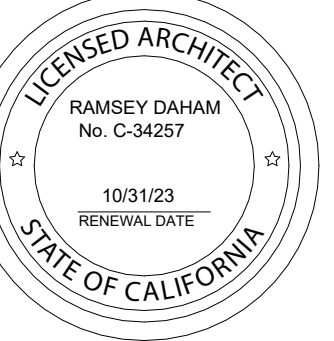
B. Installation:

- a) Locate center of bottom hole placement of the first WallRack
- b) Snap a line with the Blue Line or Laser and make a mark with pencil at approximately 60" from the floor to the first mounting hole position
- c) Hold rack straight and center hole over mark position, the bottom hole and mark the upper hole at 12" center to center, which would be the 1st hole down from the top
- d) Remove rack and drill approximately 2-1/2" deep into concrete with 1/2" x 4" Drill Bit on center
- e) Squirt in some Concrete Adhesive in both holes
- f) Insert the (2) Lag Shields #17504 into the holes and tap flush with the hammer
- g) Align the rack with the holes and Sleeves and insert the (2) Lag Screws #17505 using the T-30 Torx Driver and tighten
- h) Next offset the bottom rack hole down by 12" vertical and over 16" center-to-center horizontal, yielding approx. 48" from the rack bottom hole to the floor
- i) Repeat steps "c" thru "g" completing on set of racks
- j) Repeat steps "a" thru "g" as necessary to complete the wall installation using a Blue Line or Laser Level

BICYCLE RACK
BUREAU OF ENGINEERING DEPARTMENT OF PUBLIC WORKS CITY OF LOS ANGELES
STANDARD PLAN S-671-1
BICYCLE RACK
PREPARED BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]
DATE: 9/7/2023 4:35:31 PM
SCALE: NOT TO SCALE
JOB #: 23-A001
SHEET 1 OF 4 SHEETS

breakformdesign

127 anna street, el segundo, ca 90245
[o] 310.322.3700



12747 MITCHELL AVE

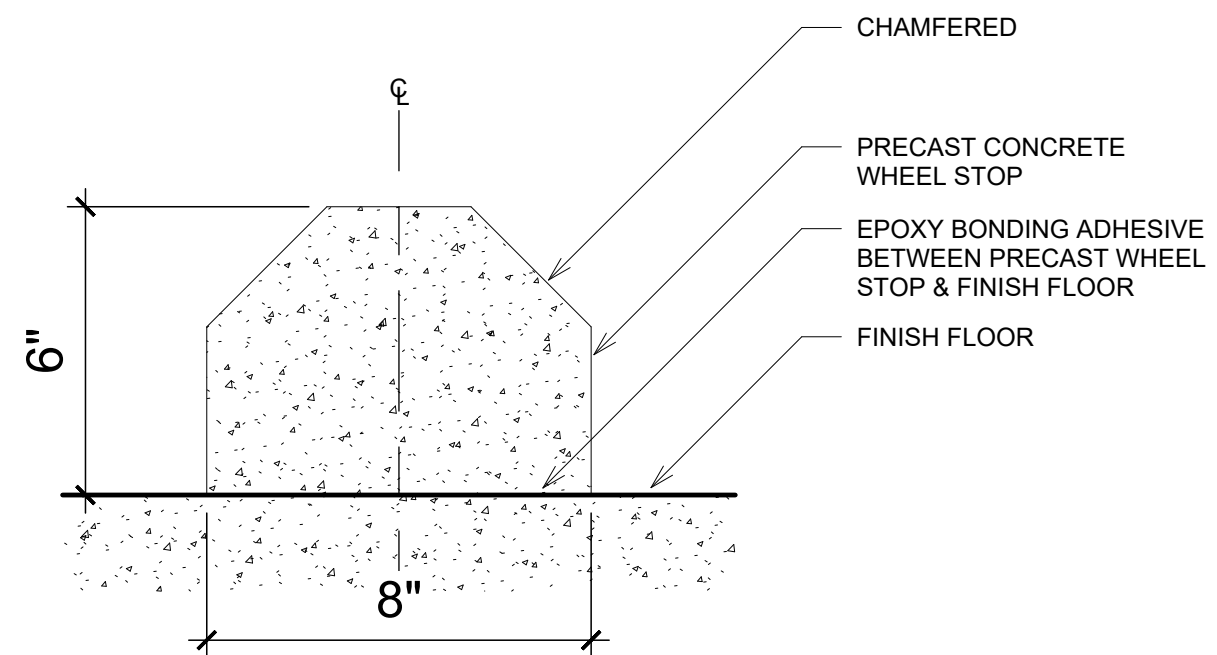
Revision Schedule

Revision Number	Revision Date

SPECS / RESEARCH REPORTS

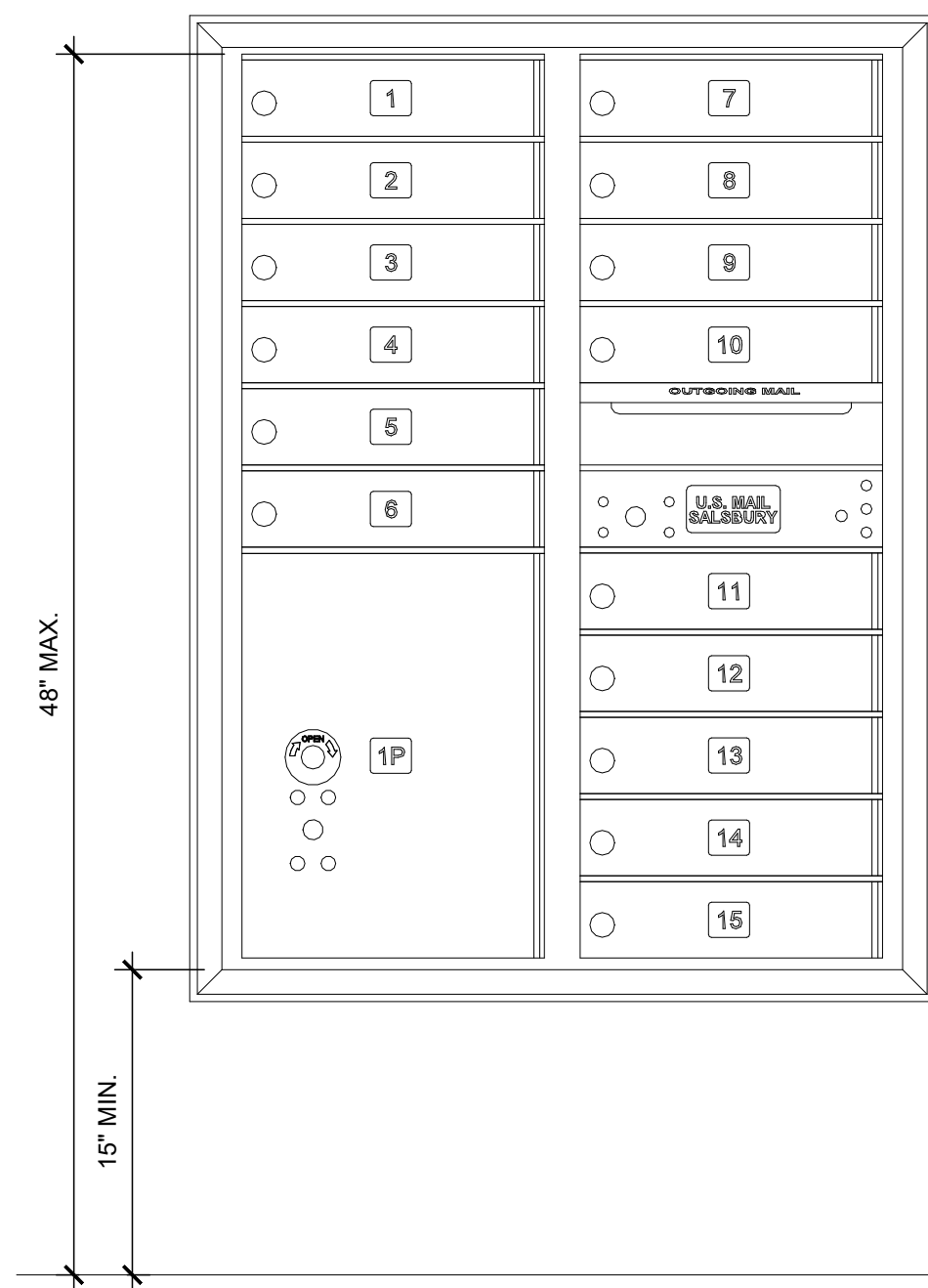
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JOB #	23-A001

A0.05 C



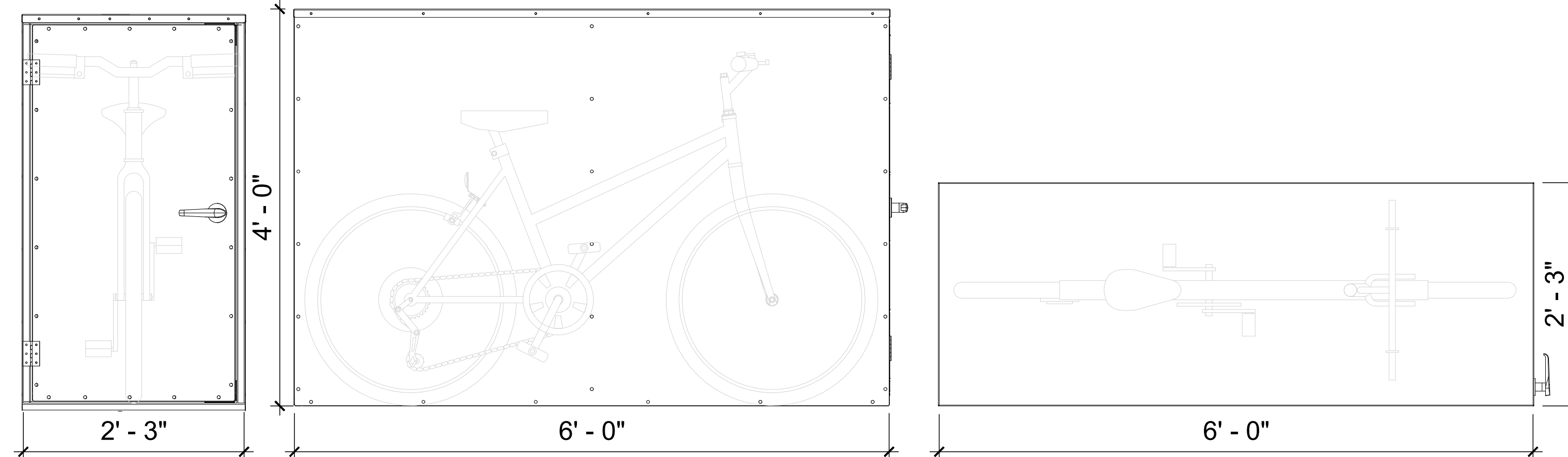
DETAIL - WHEEL STOP
3" = 1'-0"

9



MAILBOX
1 1/2" = 1'-0"

8



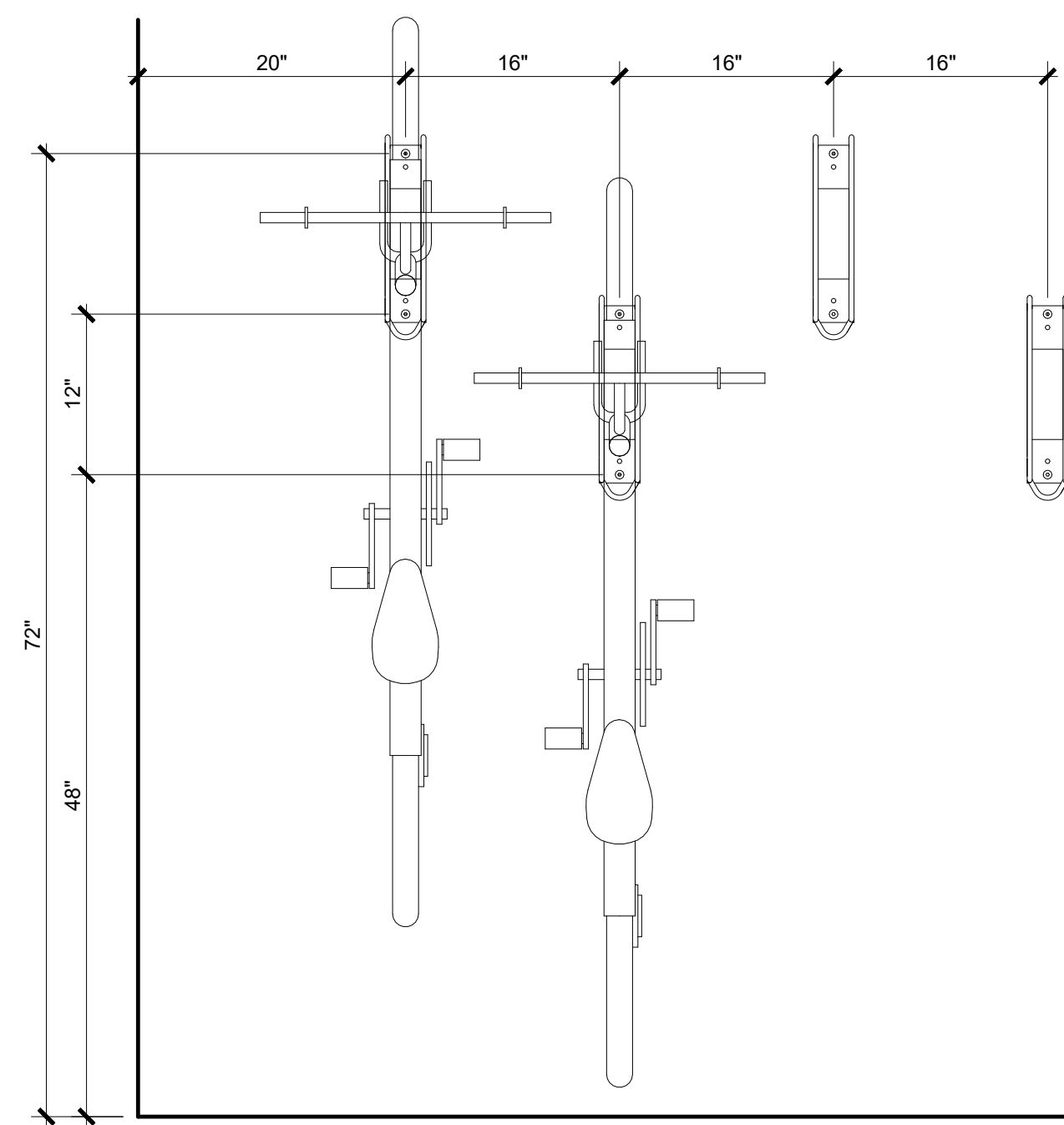
FRONT ELEVATION

SIDE ELEVATION

PLAN VIEW

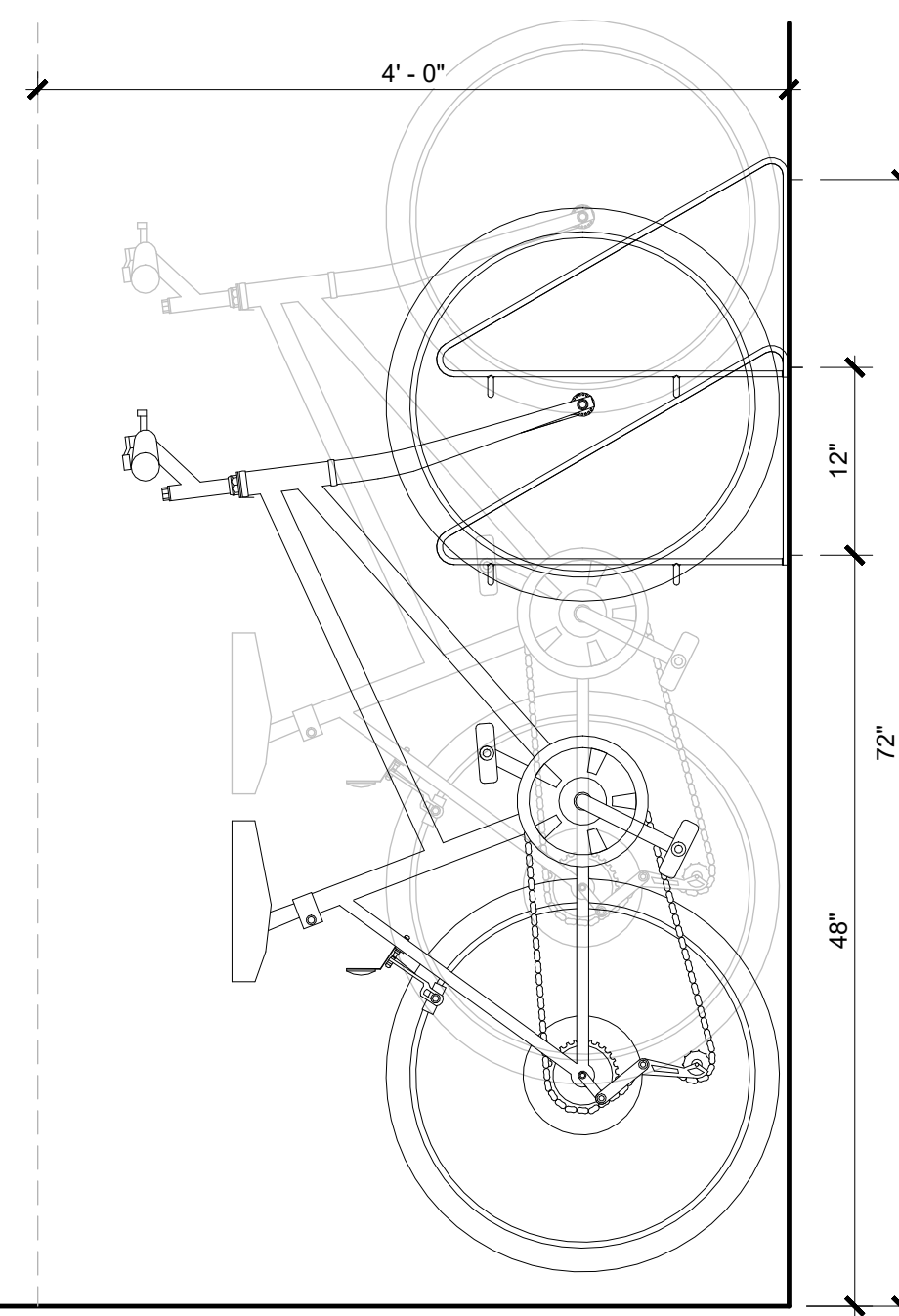
DETAIL - BICYCLE PARKING LONG TERM LOCKER
1" = 1'-0"

3



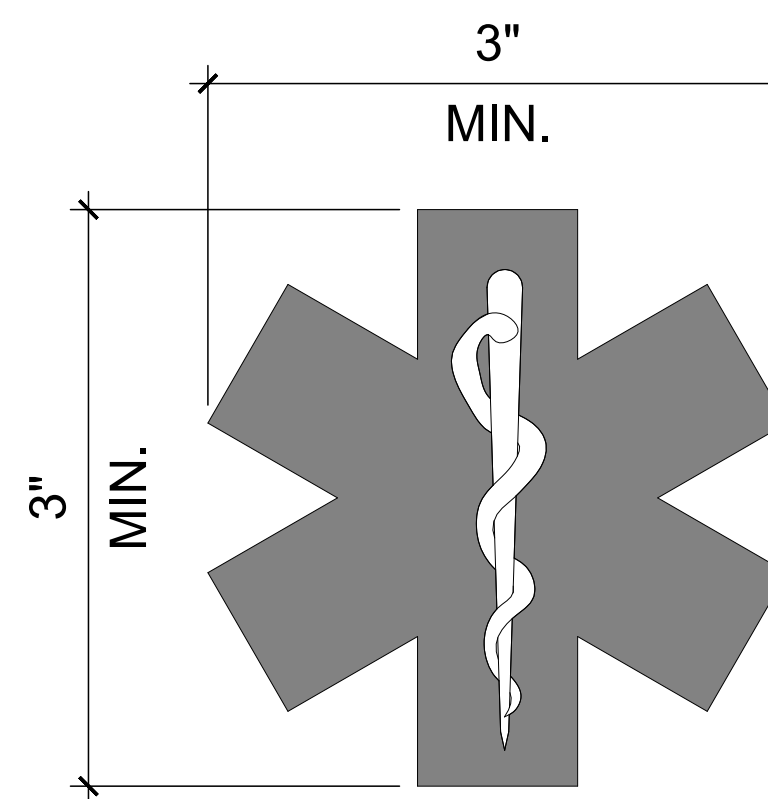
DETAIL - BICYCLE PARKING LONG TERM WALL RACK
1" = 1'-0"

7

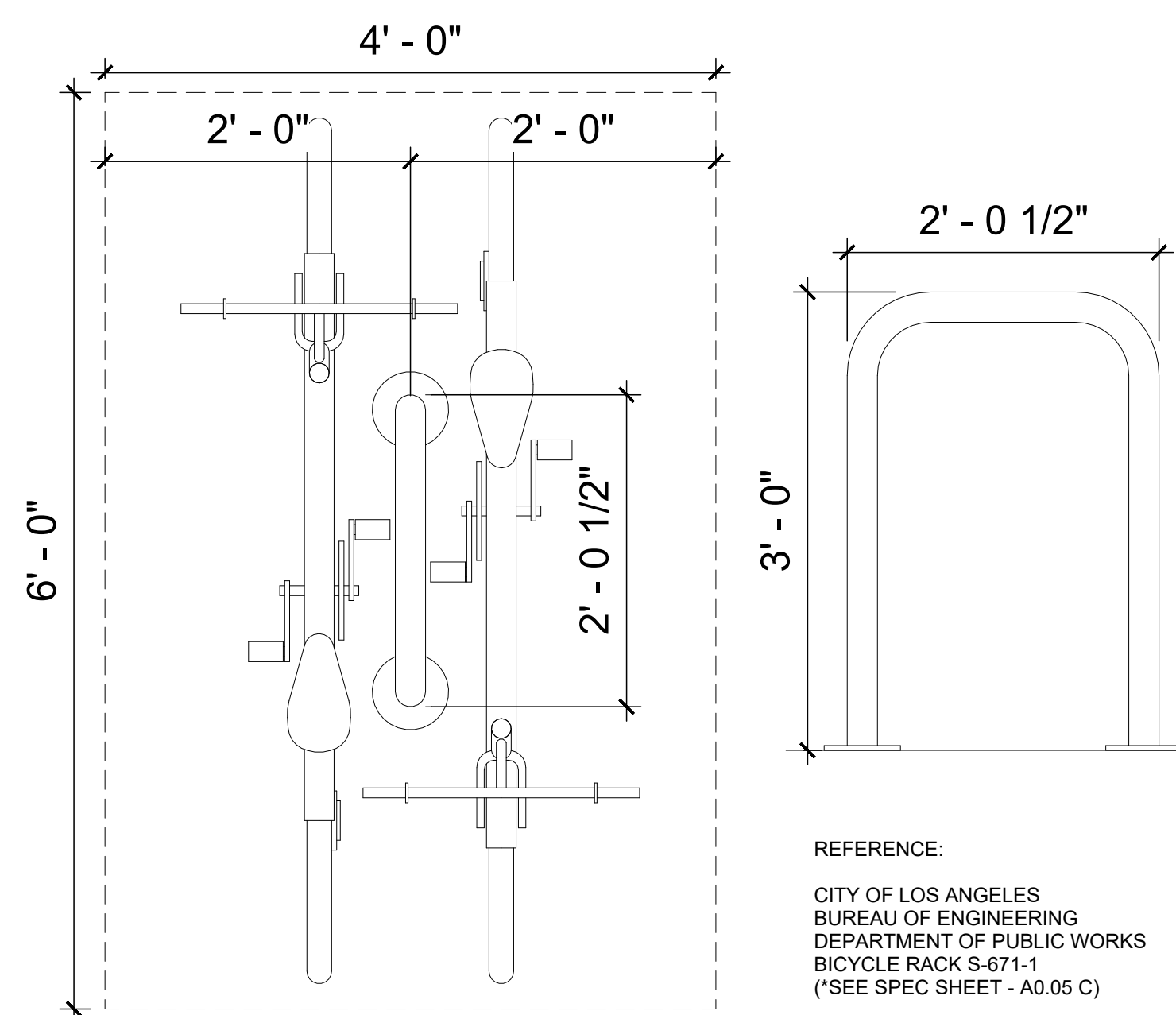


DETAIL - MEDICAL SERVICES SYMBOL
12" = 1'-0"

5

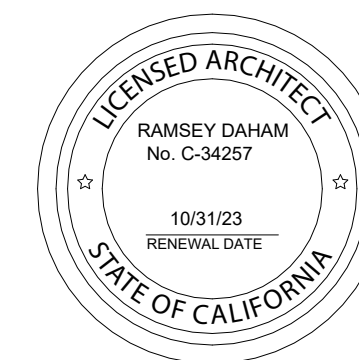


NOTE:
INTERNATIONAL SYMBOL FOR MEDICAL SERVICES (STAR OF LIFE), THE SYMBOL SHALL NOT BE LESS THAN 3 INCHES HIGH & SHALL BE PLACED INSIDE OF THE HOISTWAY DOOR FRAME.



DETAIL - BICYCLE PARKING SHORT TERM TYP.
1" = 1'-0"

2



12747 MITCHELL AVE

Revision Schedule

Revision Number	Revision Date

GENERAL DETAILS

DRAWN Author

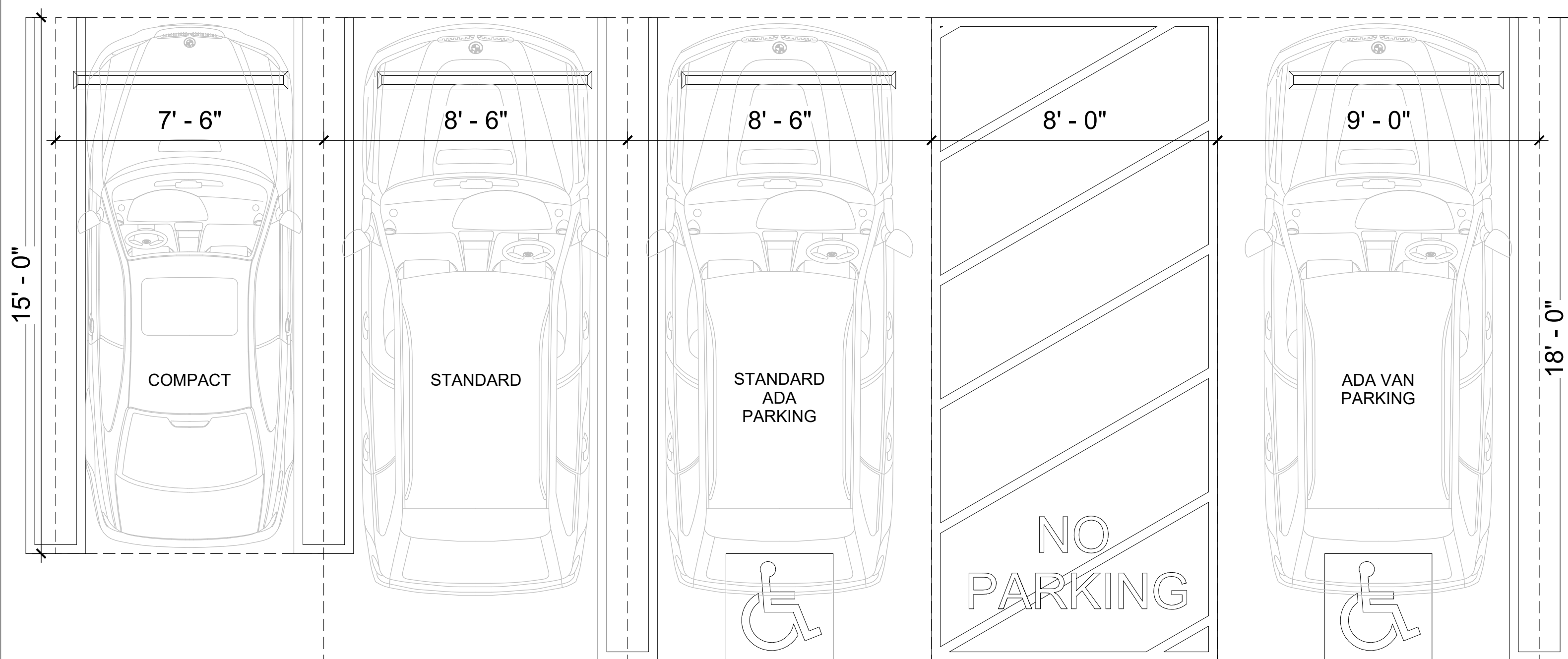
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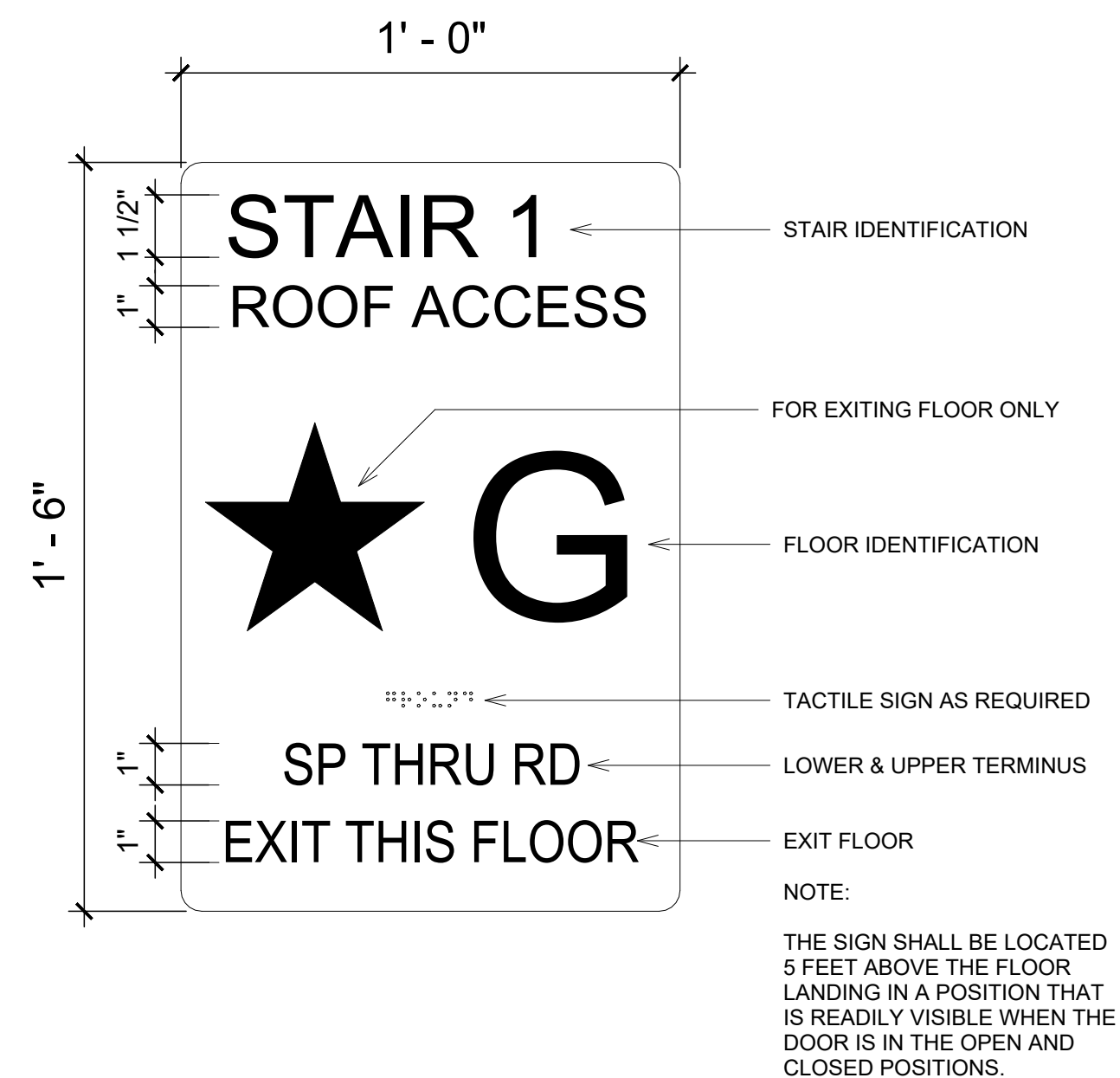
JOB # 23-A001

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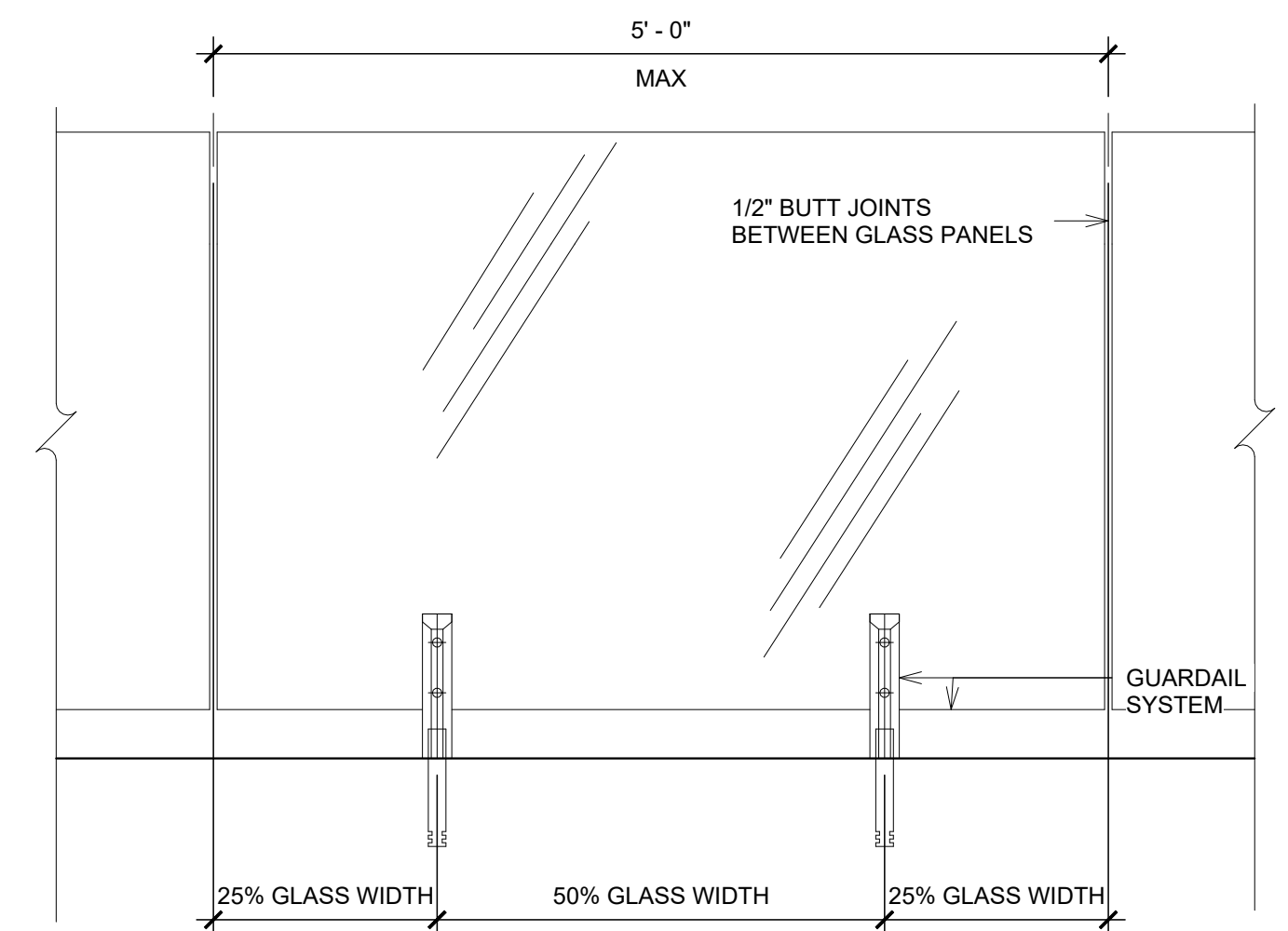
DETAIL - TYPICAL PARKING
3/8" = 1'-0"

6



DETAIL - FLOOR I.D. SIGN TYP.
3" = 1'-0"

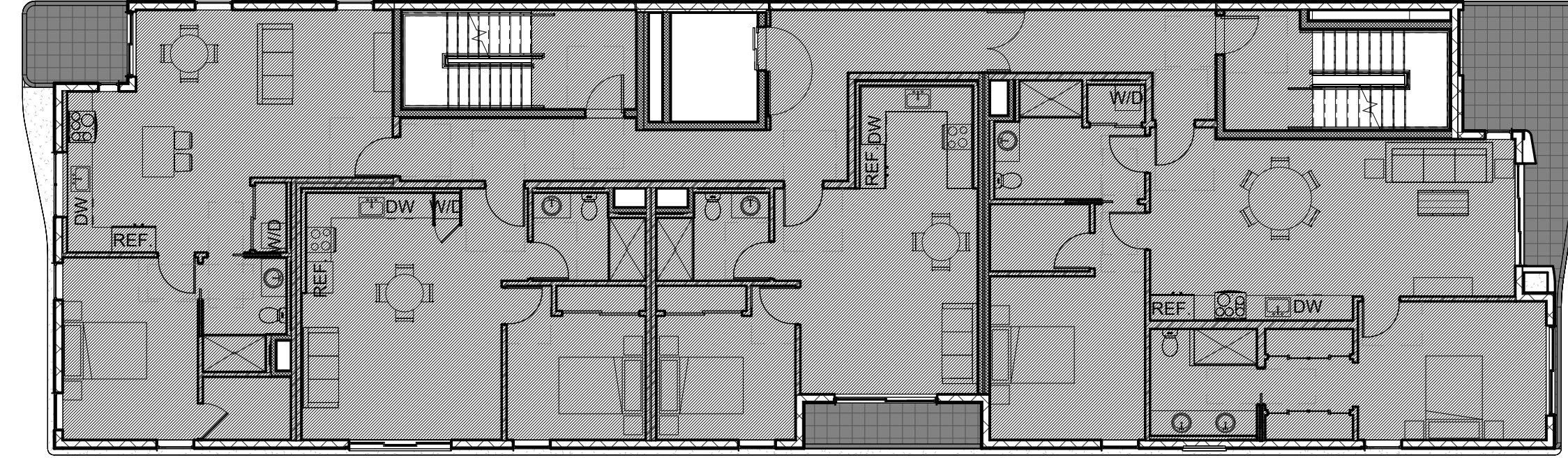
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DETAIL - GLASS GUARDRAIL
1" = 1'-0"

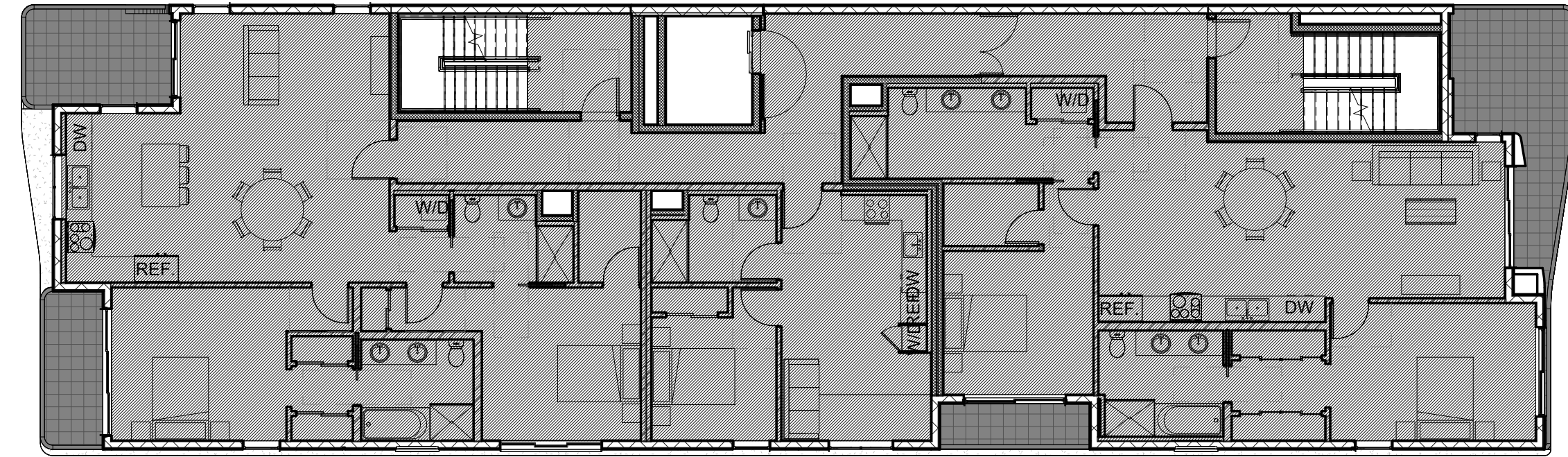
1

ZONING CODE FLOOR AREA	
SUBTERRANEAN FLOOR - COVERED	N/A
FIRST FLOOR - COVERED	30 SF
SECOND FLOOR - COVERED	3,562 SF
THIRD FLOOR - COVERED	3,569 SF
FOURTH FLOOR - COVERED	3,569 SF
FIFTH FLOOR - COVERED	3,569 SF
SIXTH FLOOR - COVERED	3,489 SF
TOTAL PROVIDED	19,112 SF



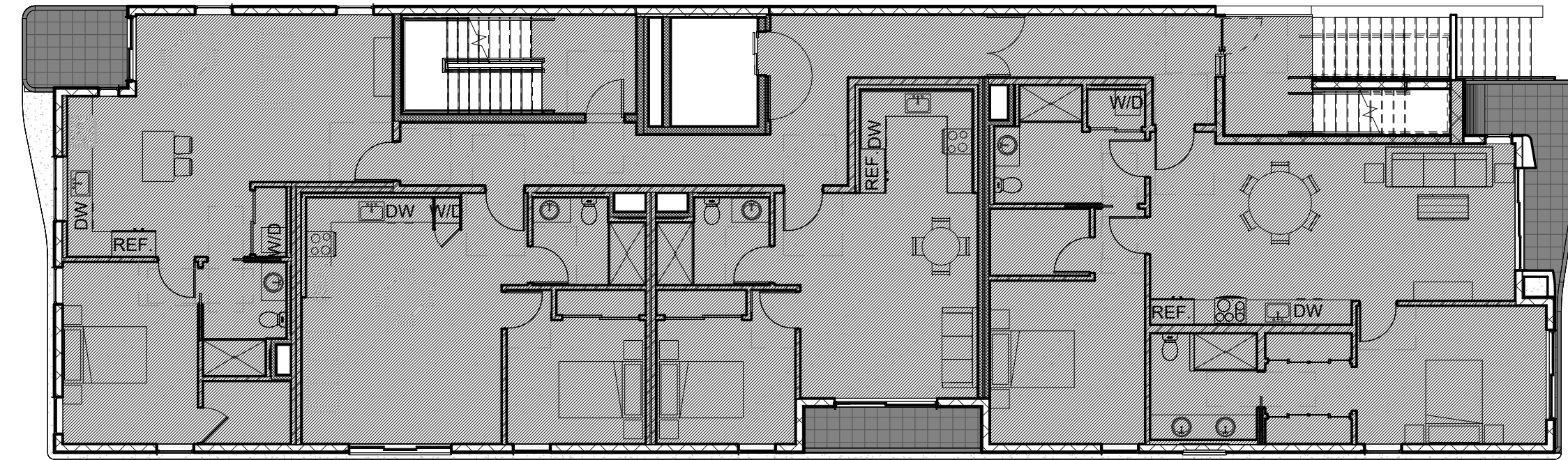
ZONING CODE - THIRD FLOOR
3/32" = 1'-0"

4



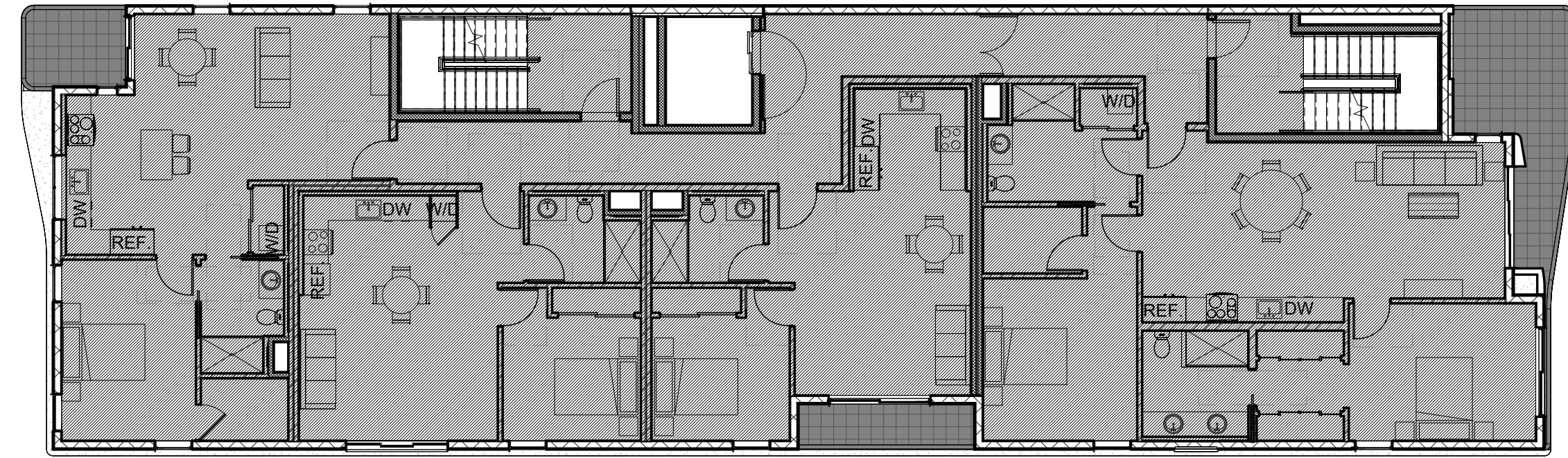
ZONING CODE - SIXTH FLOOR
3/32" = 1'-0"

7



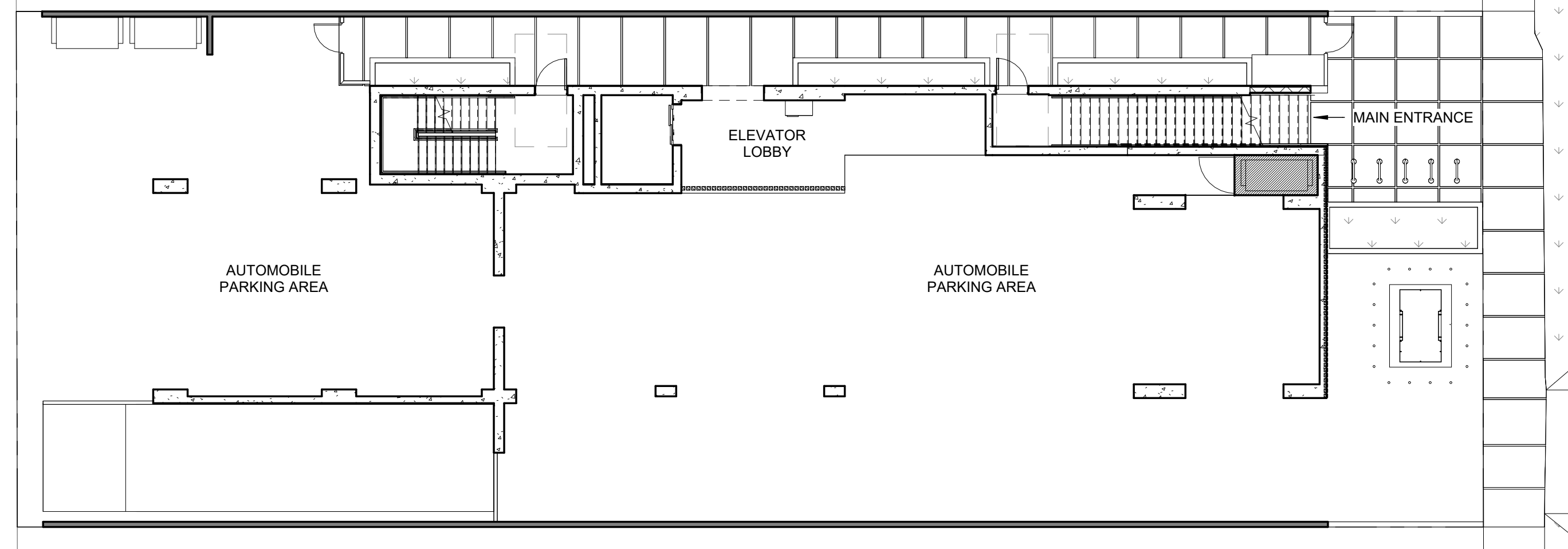
ZONING CODE - SECOND FLOOR PLAN
3/32" = 1'-0"

3



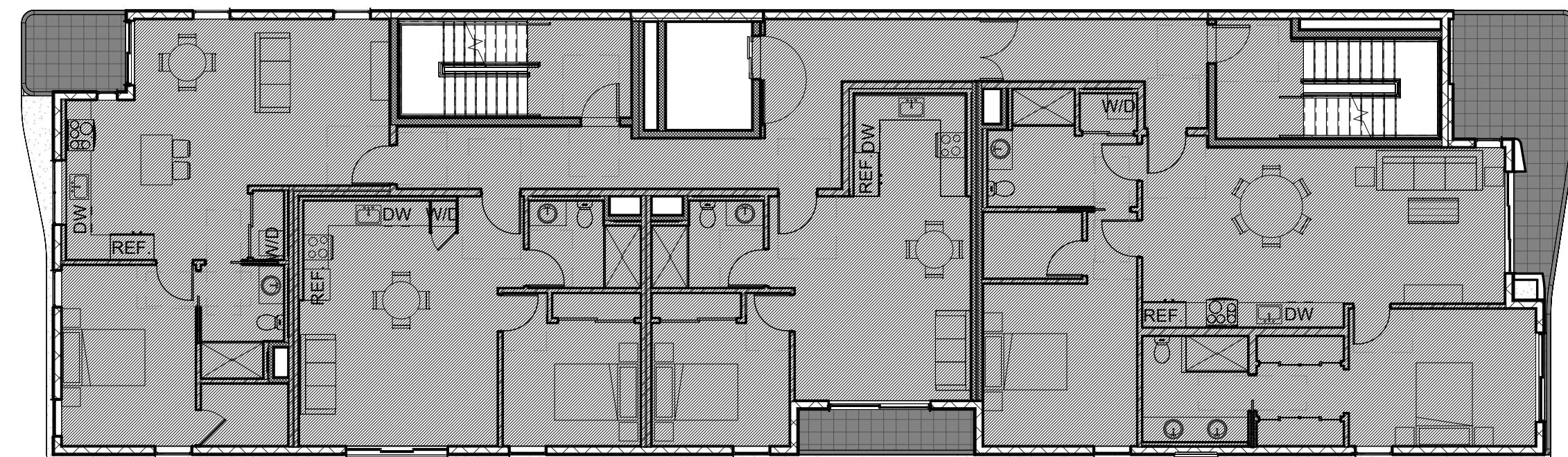
ZONING CODE - FIFTH FLOOR
3/32" = 1'-0"

6



ZONING CODE - GROUND FLOOR PLAN
3/32" = 1'-0"

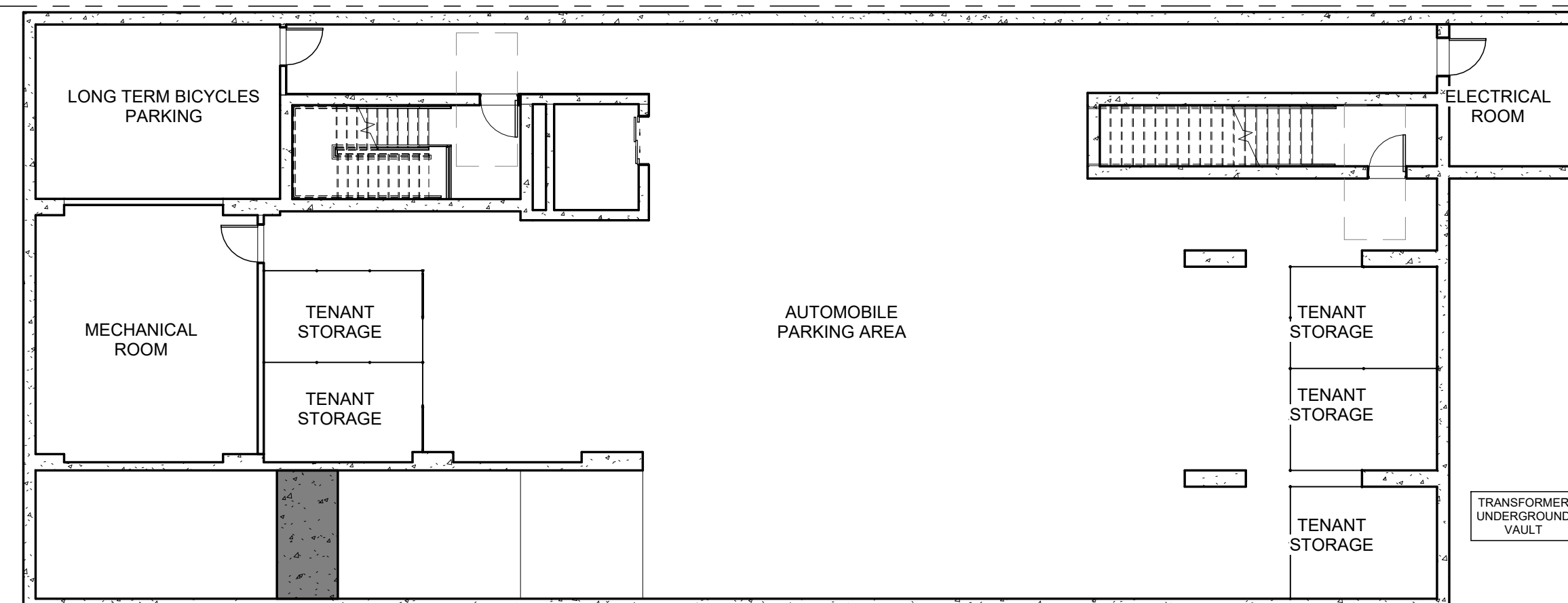
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ZONING CODE - FOURTH FLOOR
3/32" = 1'-0"

5

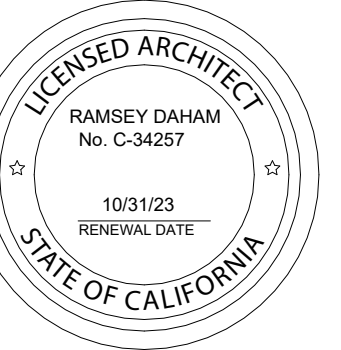
ALLEY



ZONING CODE - SUBTERRANEAN PARKING
3/32" = 1'-0"

1

MITCHELL AVE



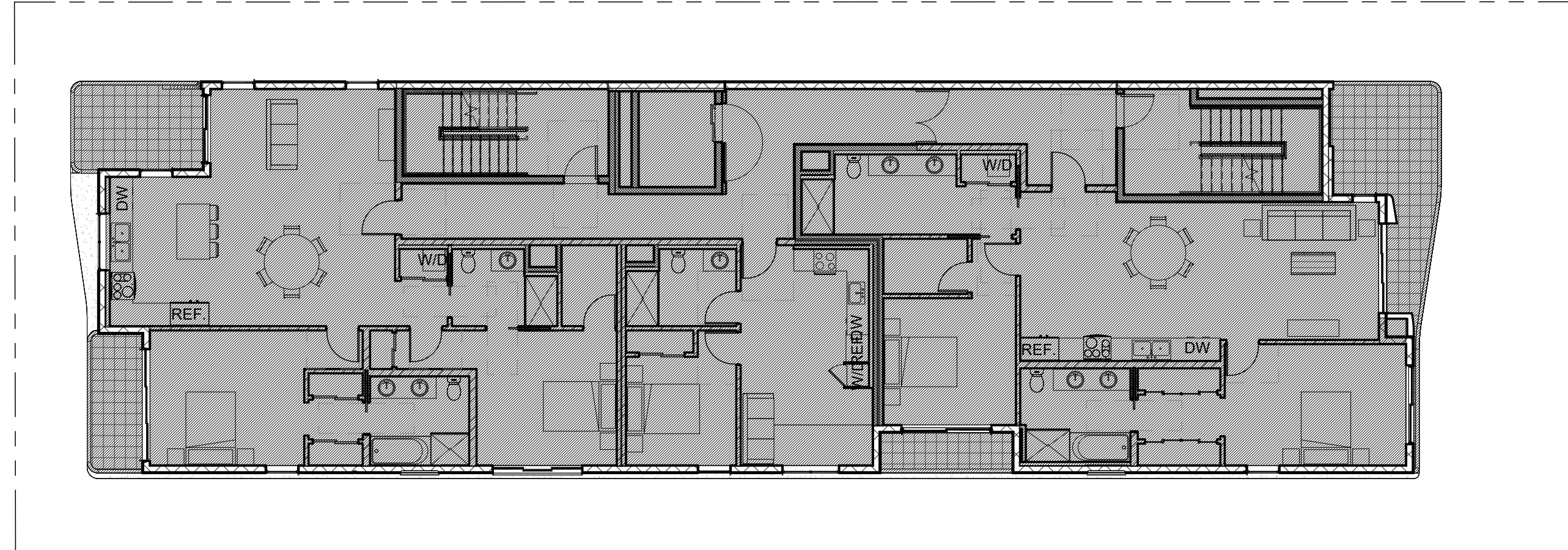
Revision Schedule

Revision Number	Revision Date

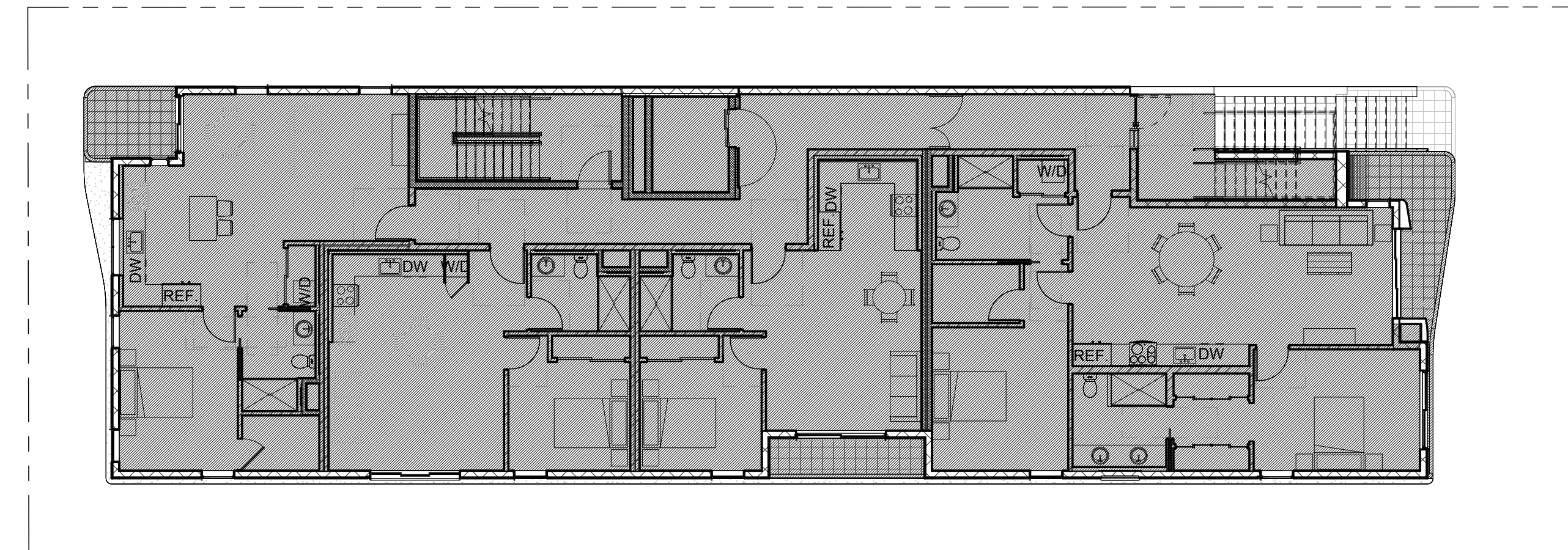
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DRAWN	Author
CHECKED	Checker
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SCALE	As indicated
JOB #	23-A001

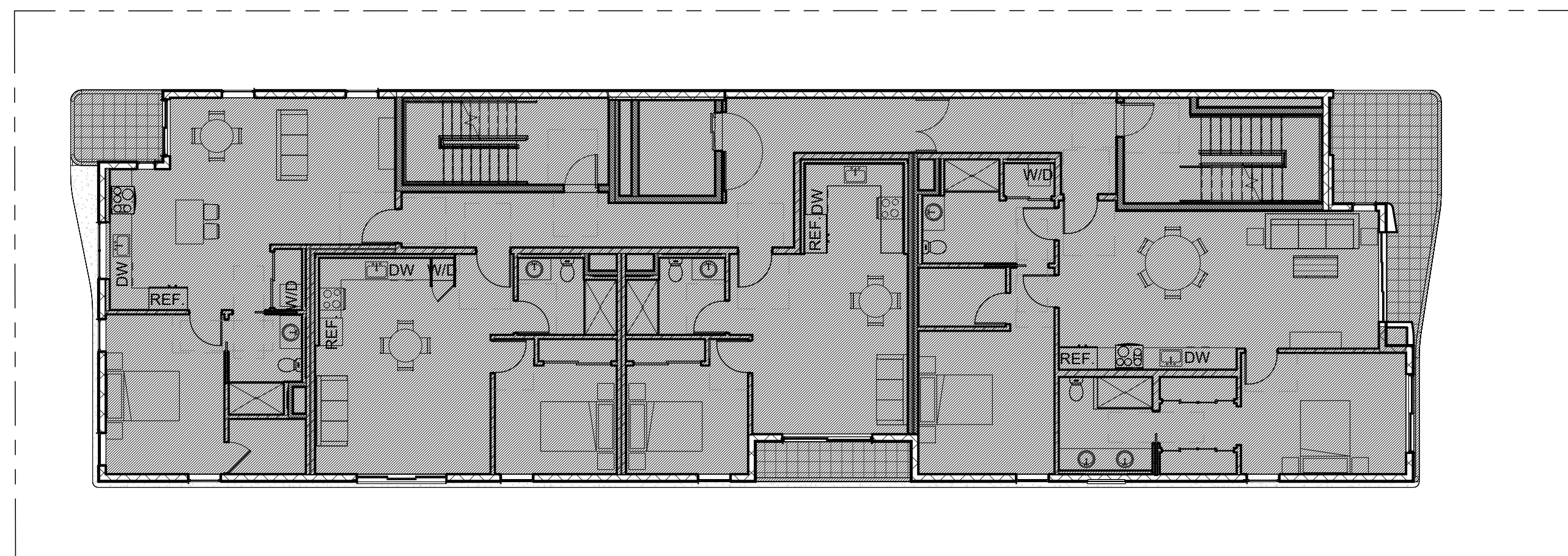
BUILDING CODE FLOOR AREA	
SUBTERRANEAN FLOOR	5,523 SF
FIRST FLOOR	4,420 SF
SECOND FLOOR	3,971 SF
THIRD FLOOR	4,096 SF
FOURTH FLOOR	4,096 SF
FIFTH FLOOR	4,096 SF
SIXTH FLOOR	4,111 SF
TOTAL PROVIDED	30,313 SF



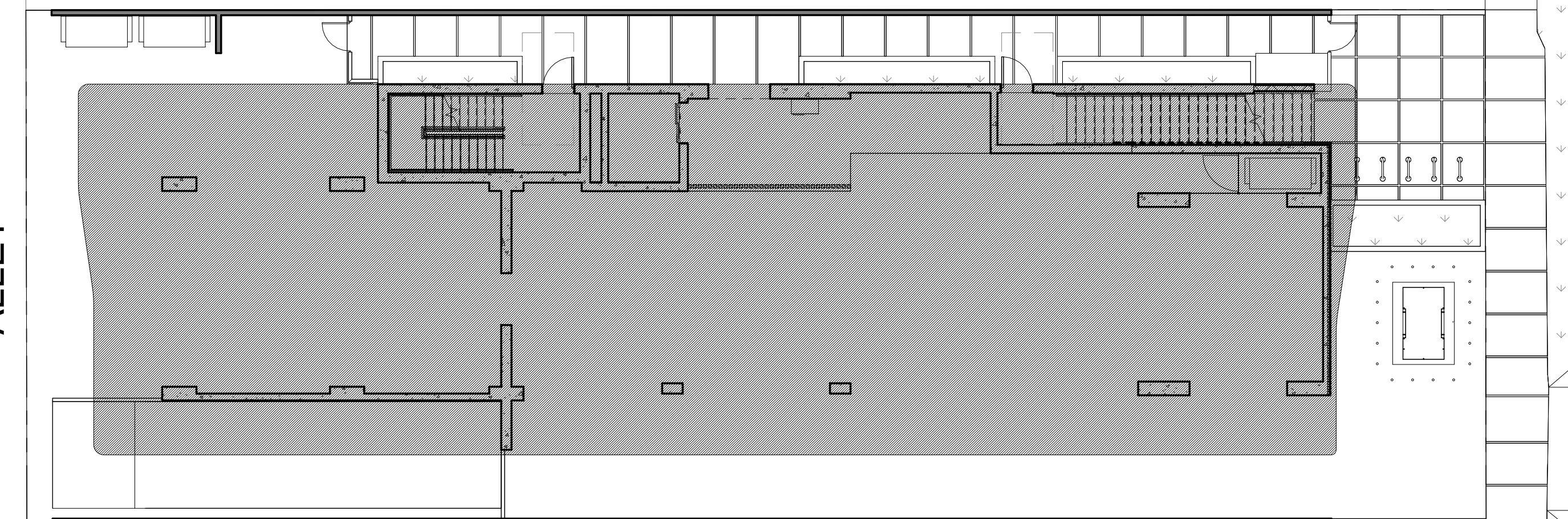
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3/32" = 1'-0" 7



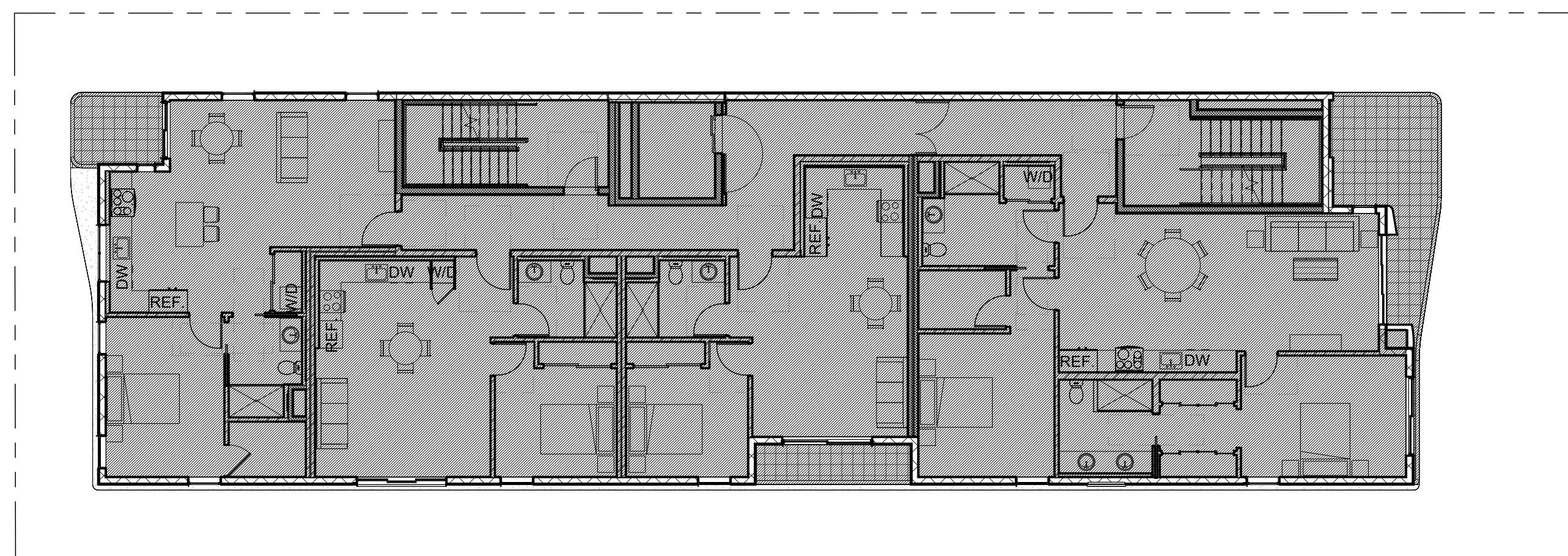
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3/32" = 1'-0" 3



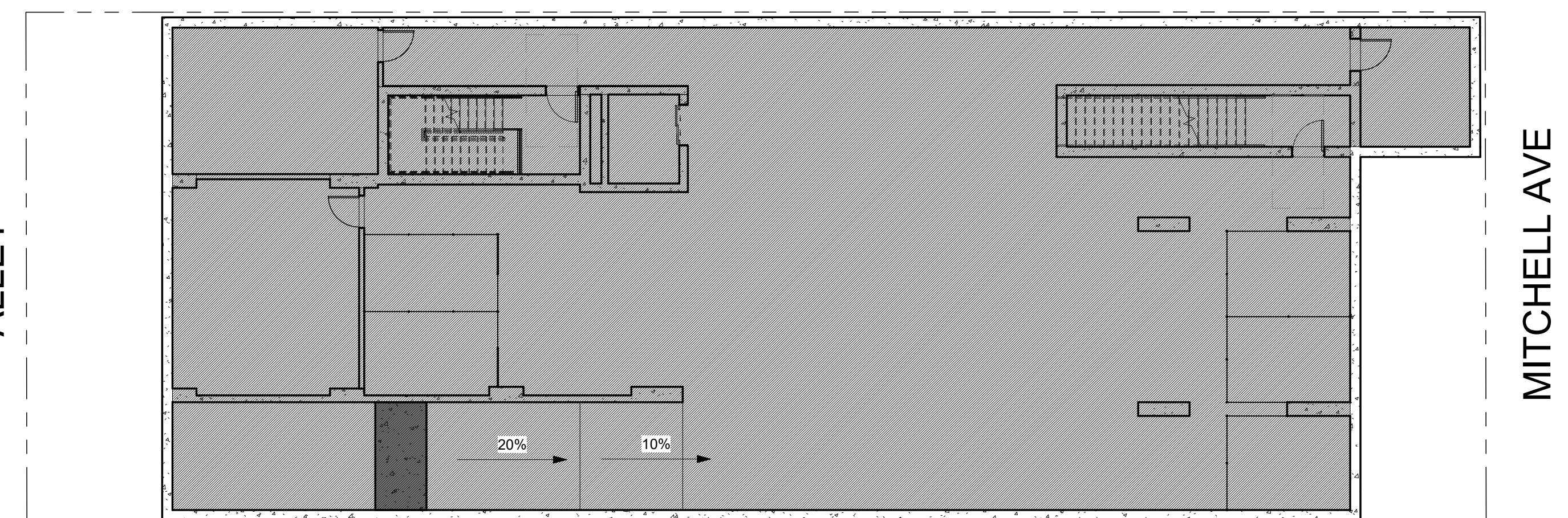
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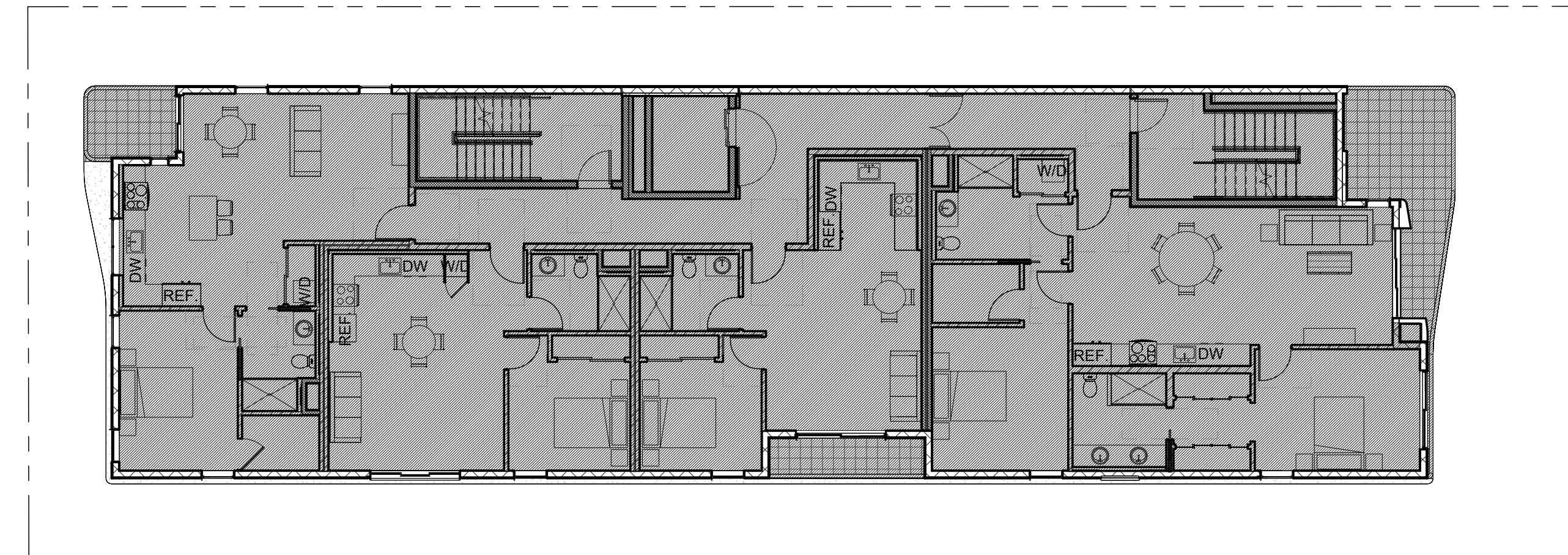
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3/32" = 1'-0" 2



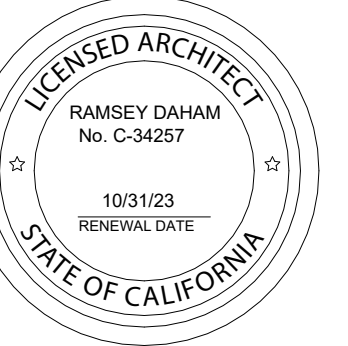
BUILDING CODE - FOURTH FLOOR
3/32" = 1'-0" 5



BUILDING CODE - SUBTERRANEAN PARKING
3/32" = 1'-0" 1



BUILDING CODE - THIRD FLOOR
3/32" = 1'-0" 4



12747 MITCHELL AVE

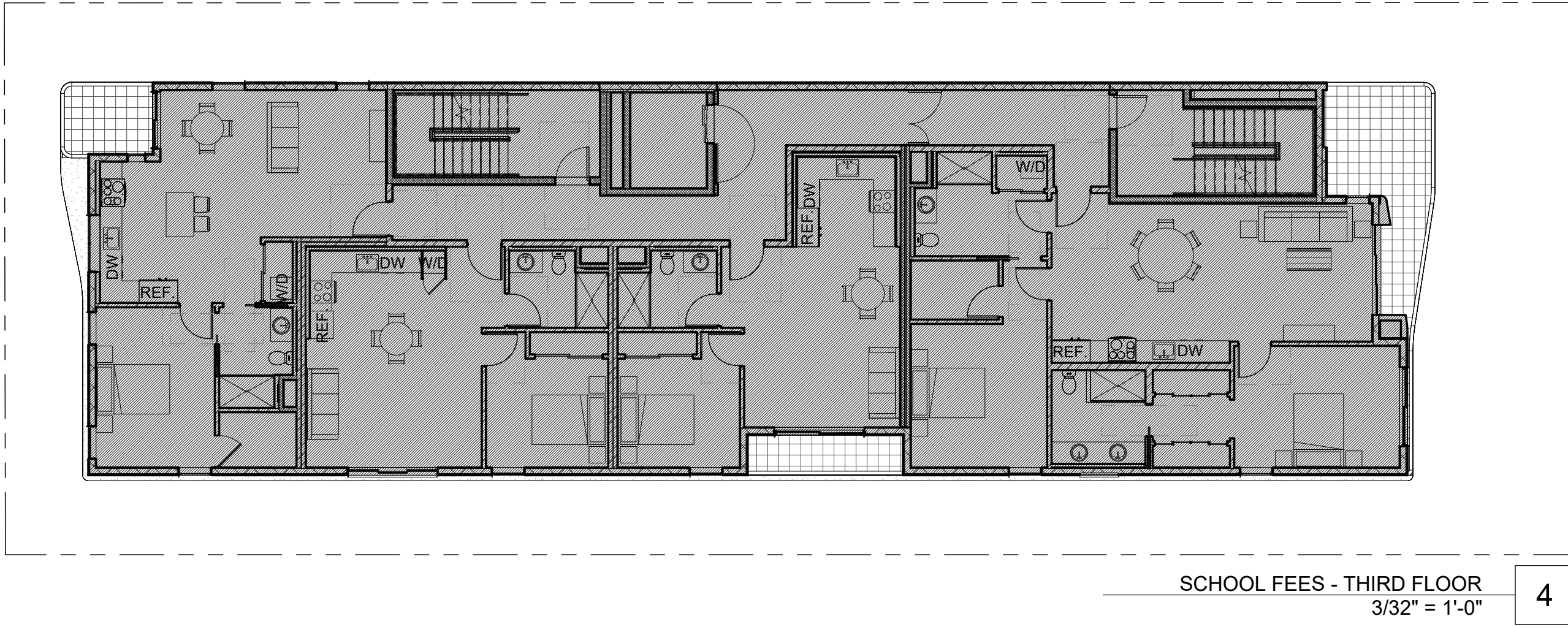
Revision Schedule

Revision Number	Revision Date

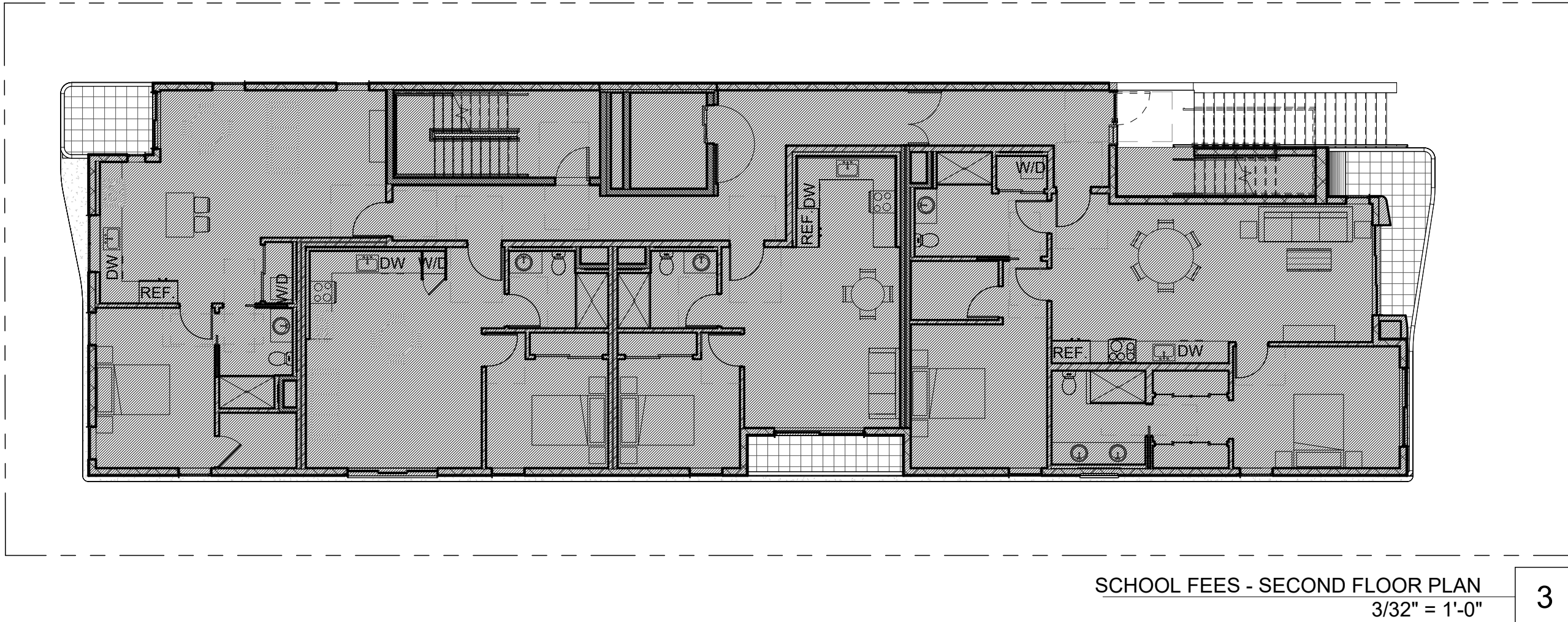
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DRAWN	Author
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SCALE	As indicated
JOB #	23-A001

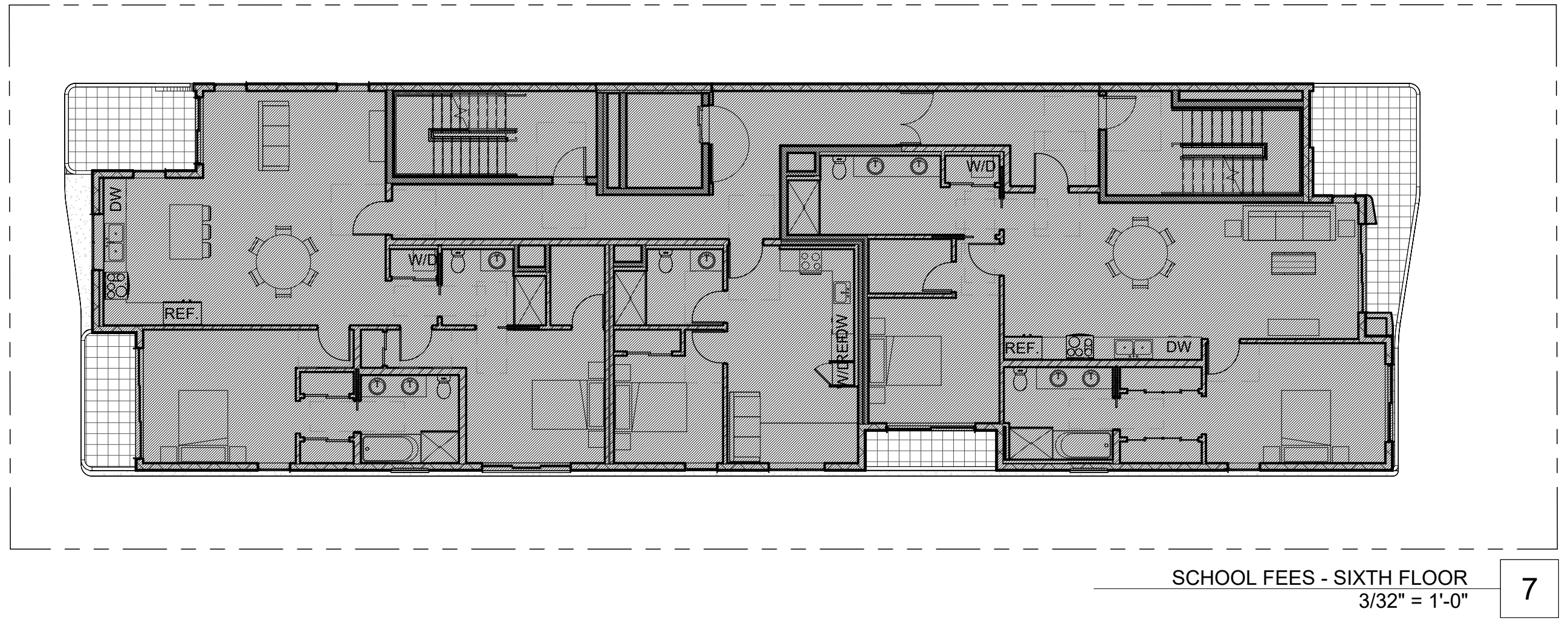
SCHOOL FEES FLOOR AREA	
SUBTERRANEAN PARKING	N/A
GROUND FLOOR	N/A
SECOND FLOOR	3,949 SF
THIRD FLOOR	4,059 SF
FOURTH FLOOR	4,059 SF
FIFTH FLOOR	4,059 SF
SIXTH FLOOR	3,977 SF
TOTAL	20,103 SF



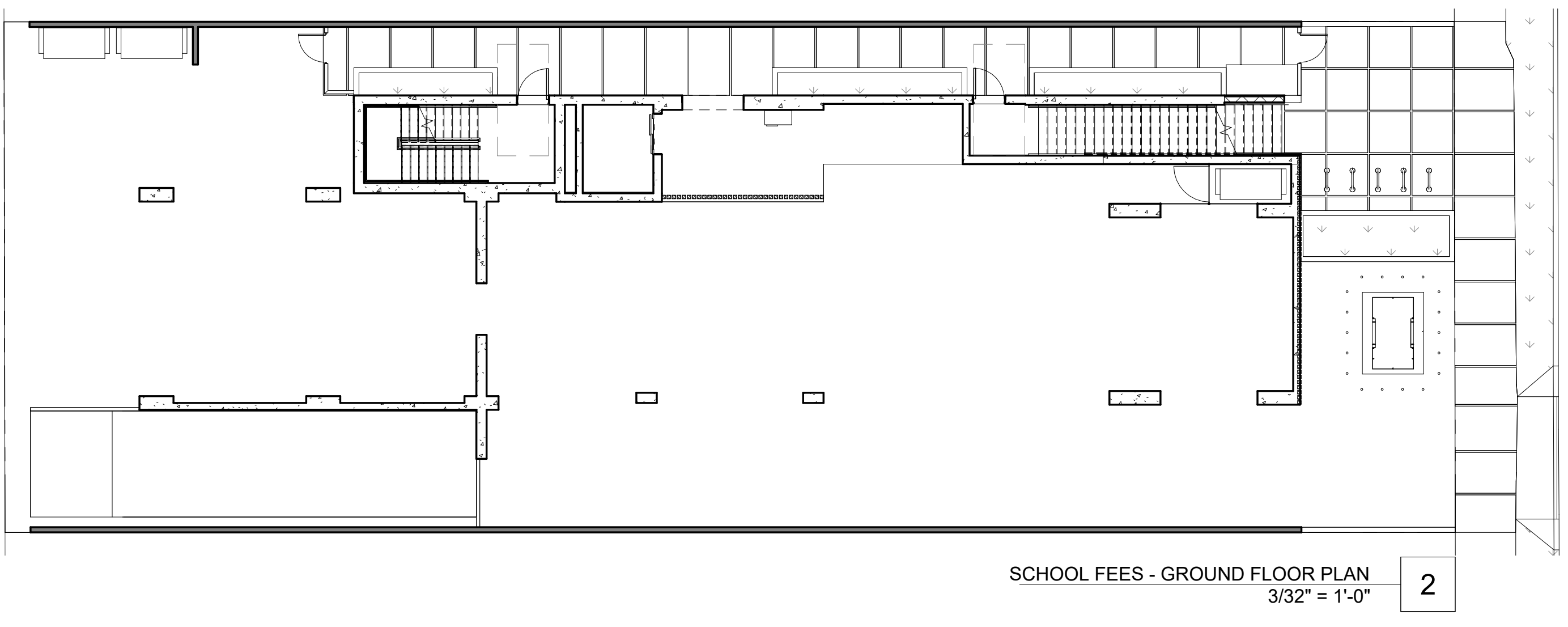
SCHOOL FEES - THIRD FLOOR
3/32" = 1'-0" 4



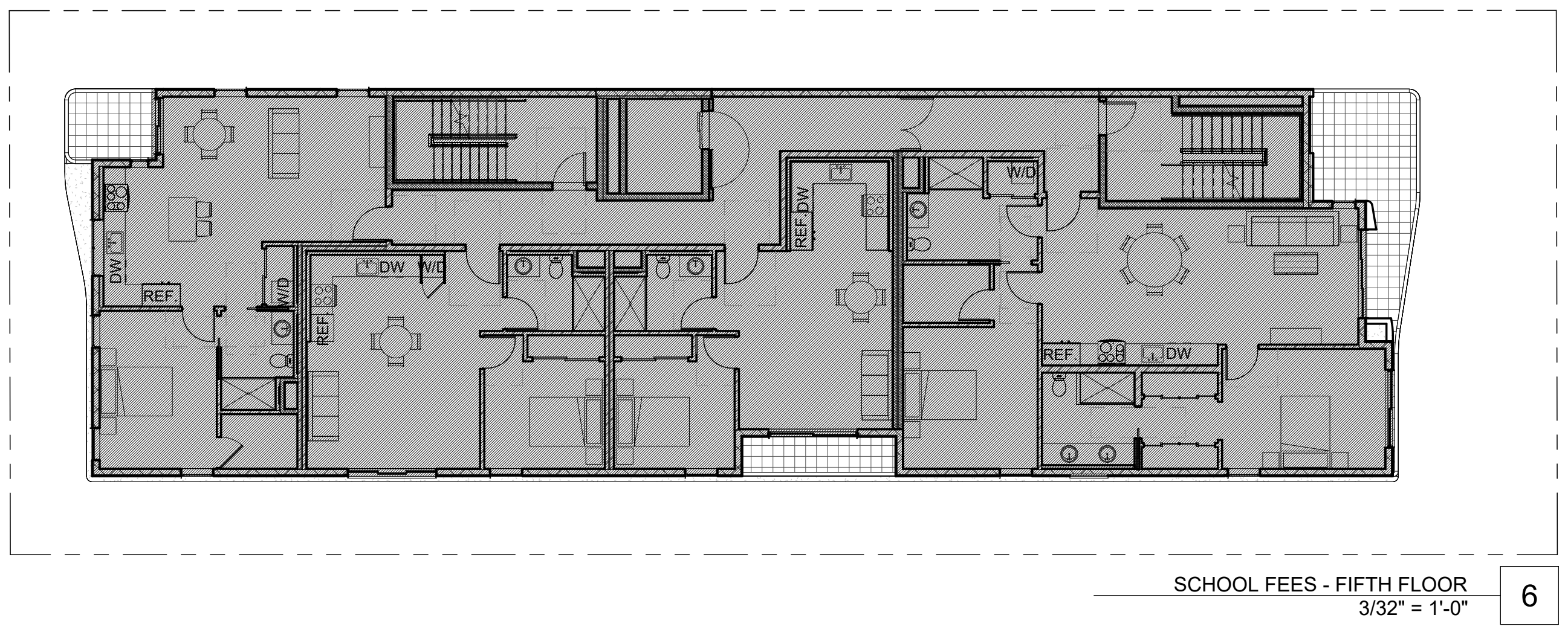
SCHOOL FEES - SECOND FLOOR PLAN
3/32" = 1'-0" 3



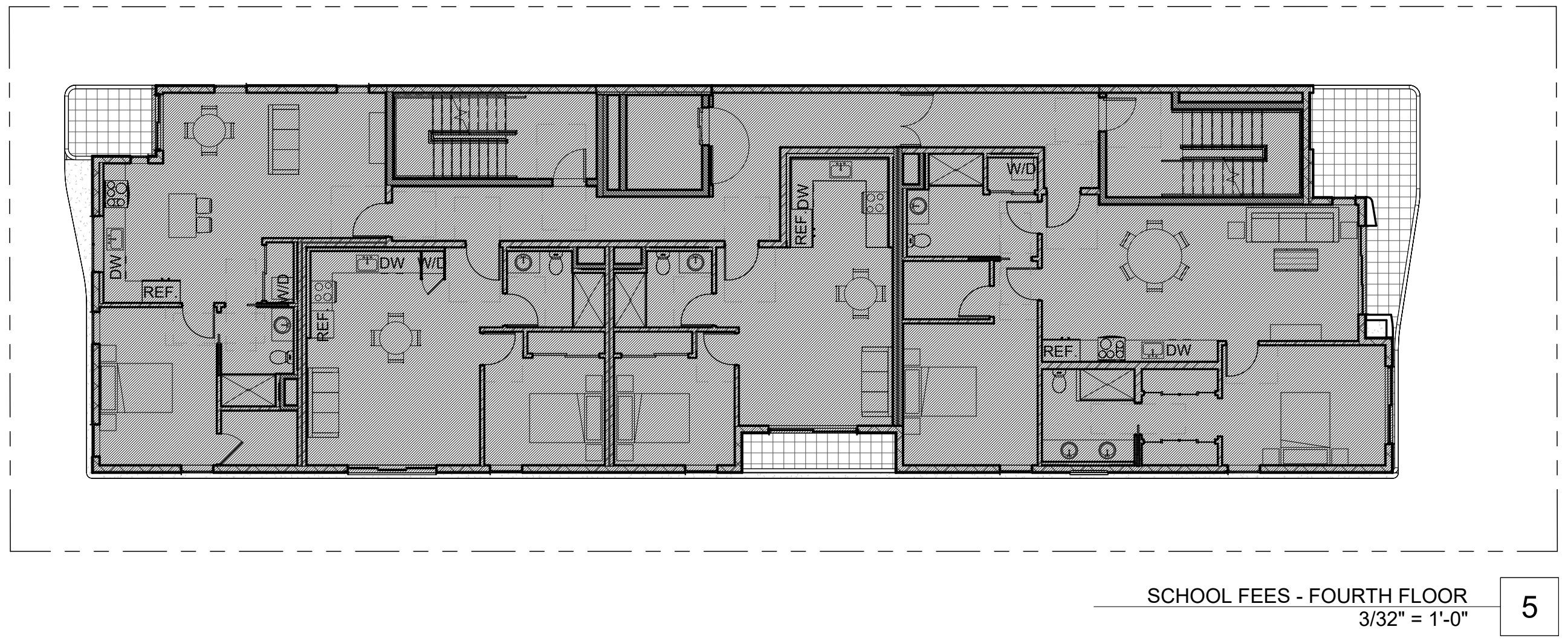
SCHOOL FEES - SIXTH FLOOR
3/32" = 1'-0" 7



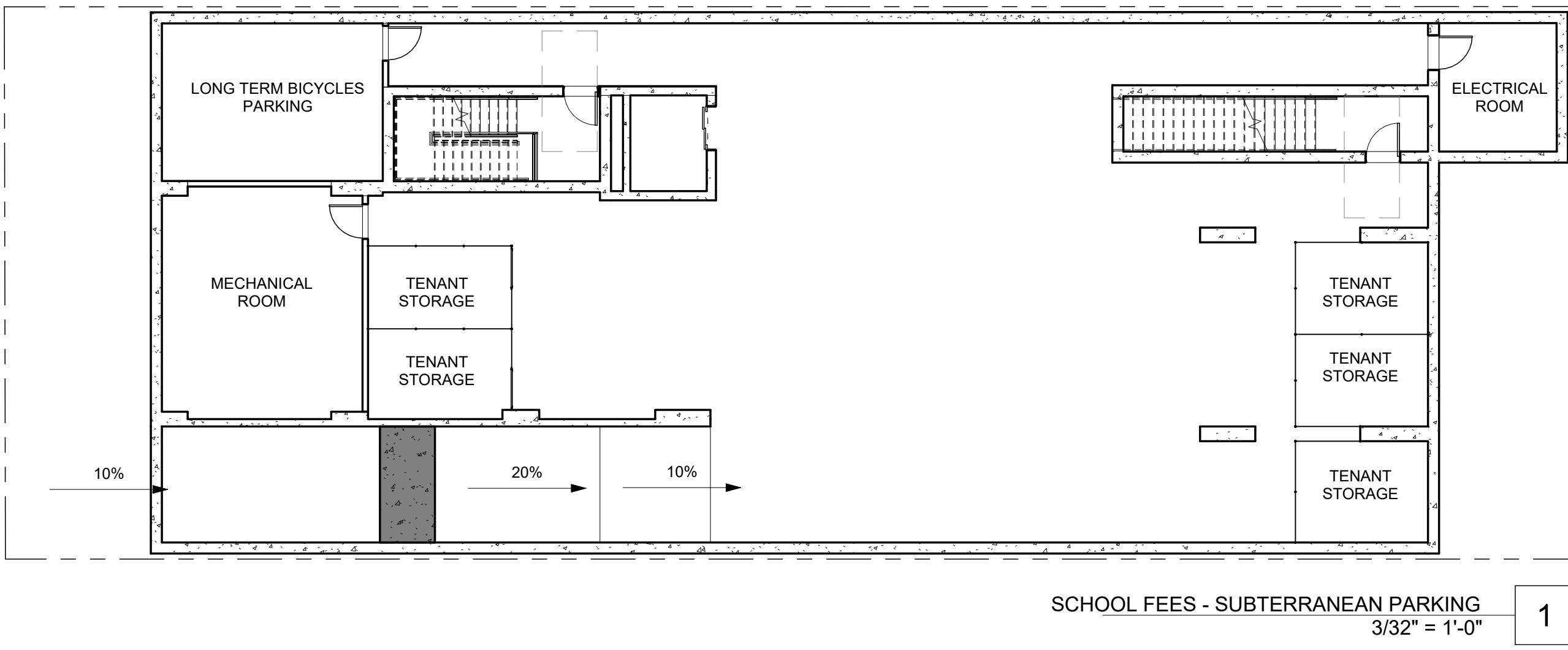
SCHOOL FEES - GROUND FLOOR PLAN
3/32" = 1'-0" 2



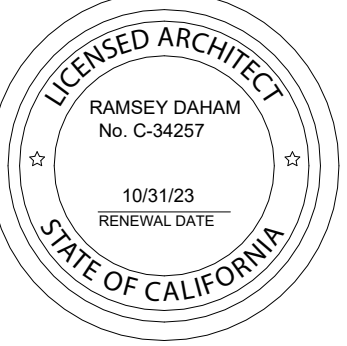
SCHOOL FEES - FIFTH FLOOR
3/32" = 1'-0" 6



SCHOOL FEES - FOURTH FLOOR
3/32" = 1'-0" 5



SCHOOL FEES - SUBTERRANEAN PARKING
3/32" = 1'-0" 1



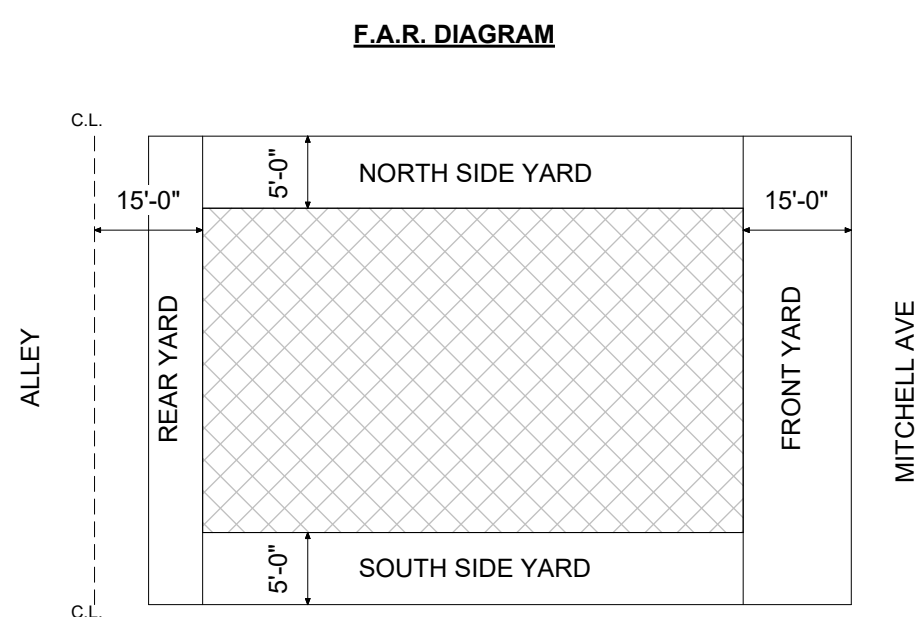
12747 MITCHELL AVE

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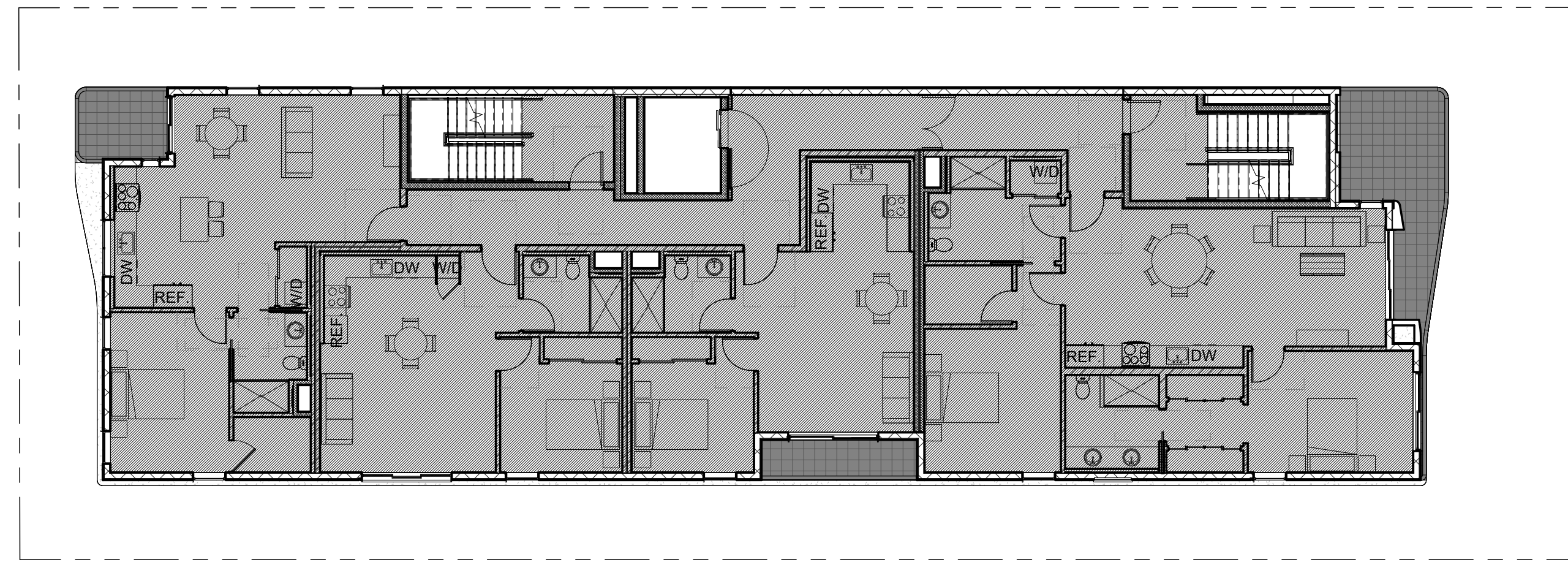
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CALCULATION
SCHOOL FEE

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SCALE	3/32" = 1'-0"
JOB #	23-A001

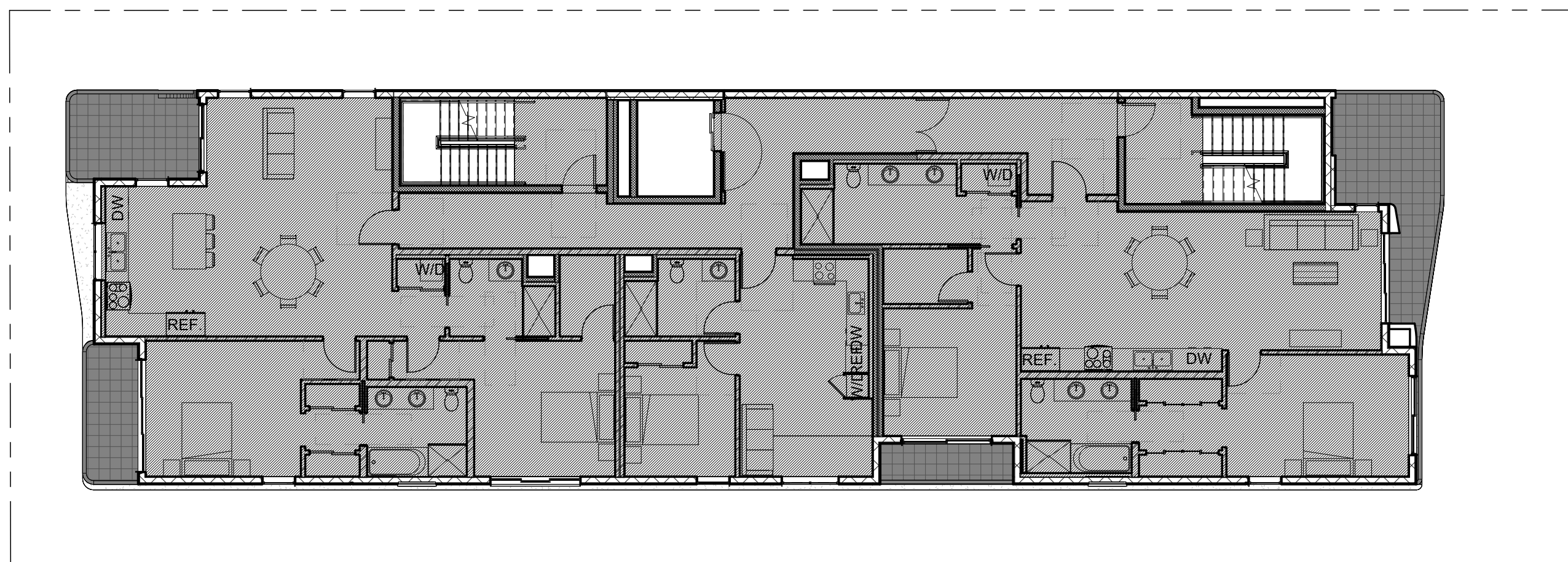
F.A.R. CALCULATIONS	
SUBTERRANEAN FLOOR - COVERED	N/A
FIRST FLOOR - COVERED	30 SF
SECOND FLOOR - COVERED	3,562 SF
THIRD FLOOR - COVERED	3,569 SF
FOURTH FLOOR - COVERED	3,569 SF
FIFTH FLOOR - COVERED	3,569 SF
SIXTH FLOOR - COVERED	3,489 SF
TOTAL PROVIDED	19,112 SF



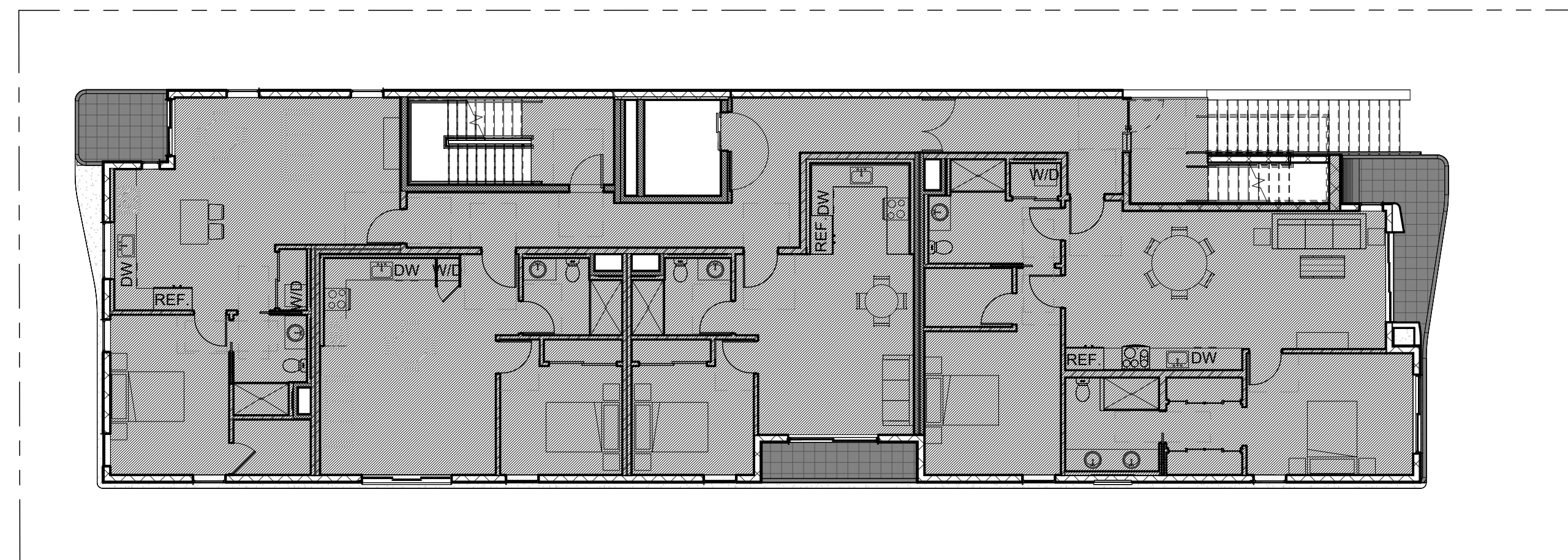
- LOT AREA: 7,100.3 S.F.
 - BUILDABLE AREA: 4,777 S.F.
 - (F.A.R.) x 4,777 SF = 19,112 S.F.
 - F.A.R. PROVIDED: 4.00:1



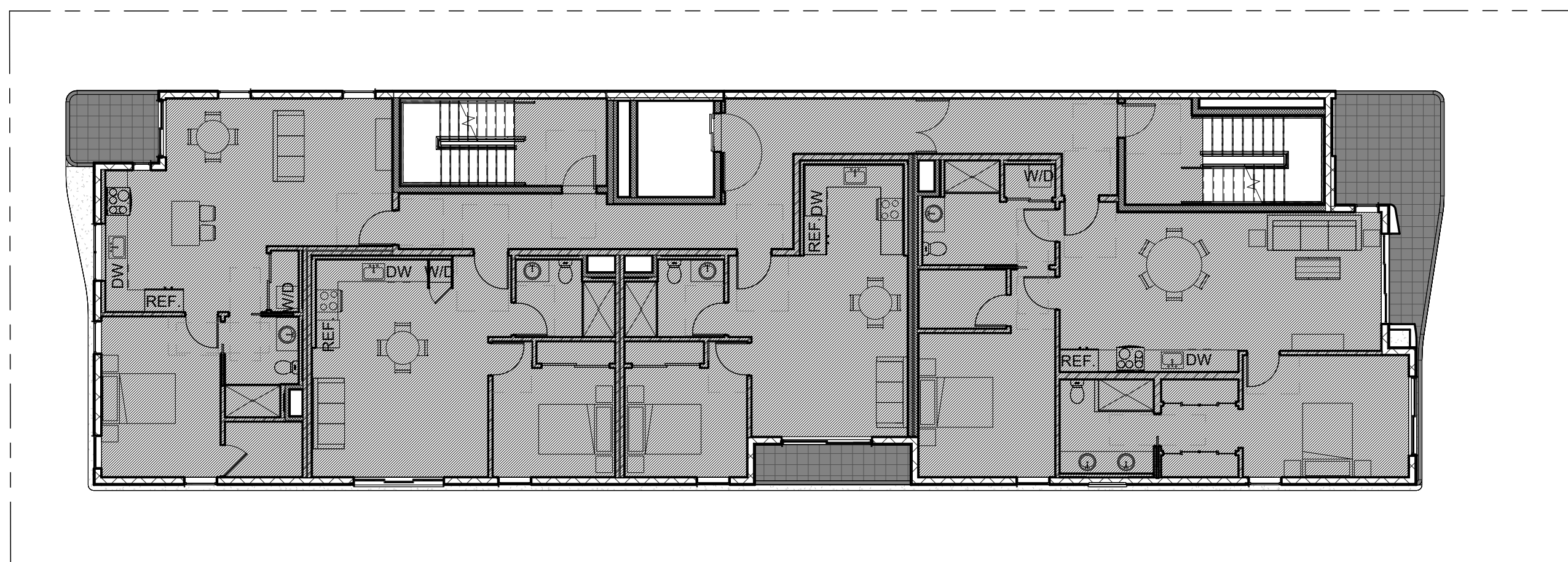
F.A.R. - THIRD FLOOR
3/32" = 1'-0" 4



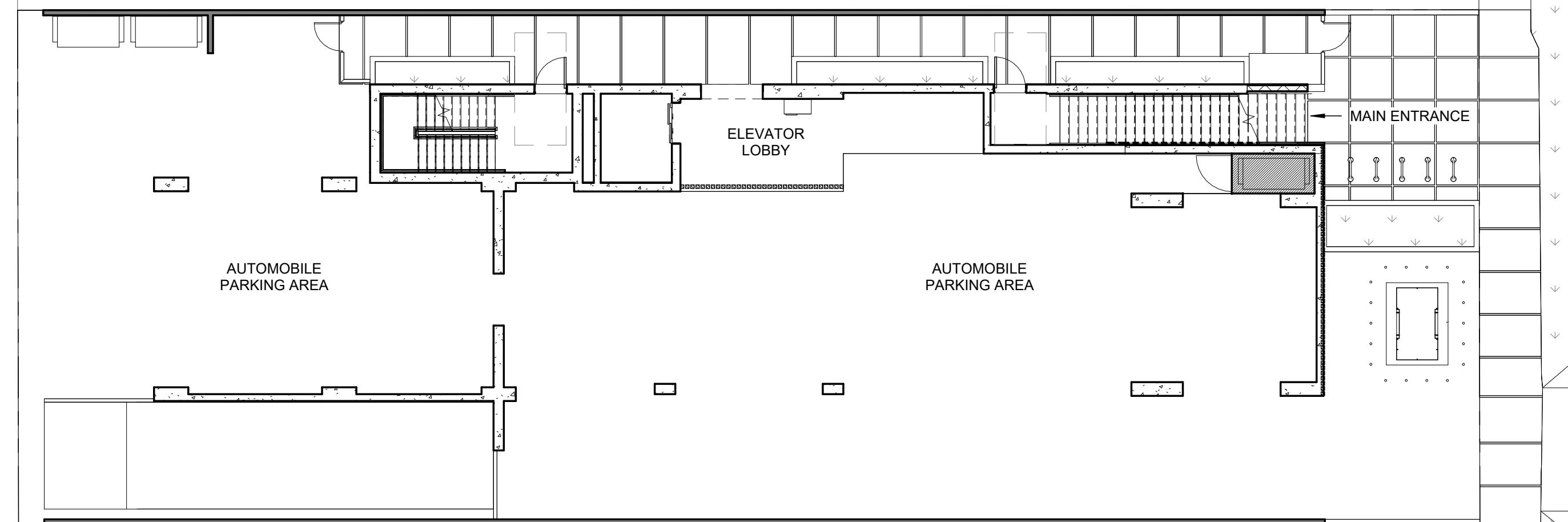
F.A.R. - SIXTH FLOOR
3/32" = 1'-0" 7



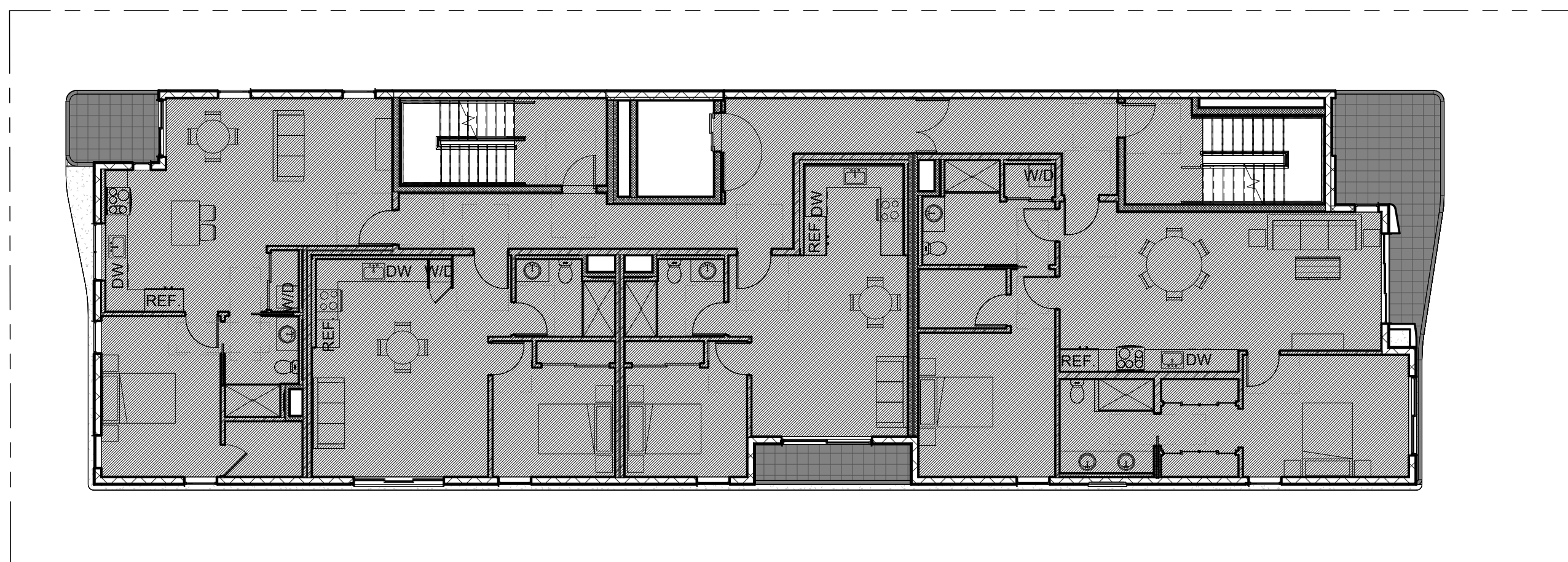
F.A.R. - SECOND FLOOR PLAN
3/32" = 1'-0" 3



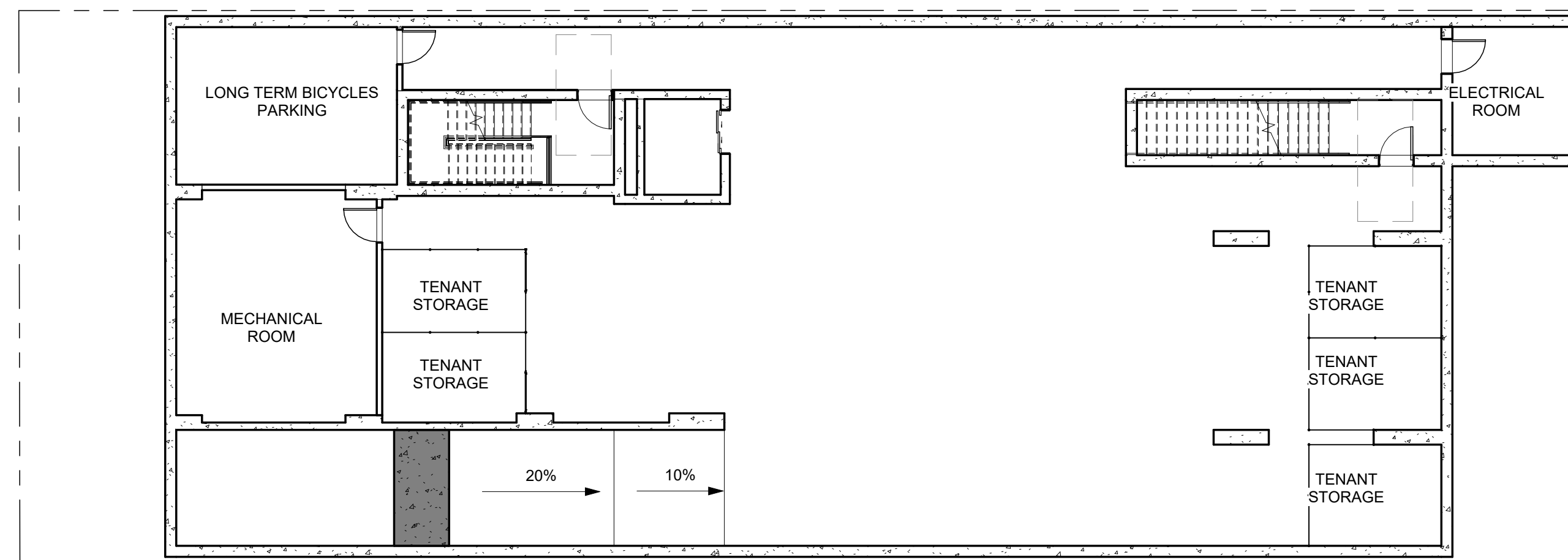
F.A.R. - FIFTH FLOOR
3/32" = 1'-0" 6



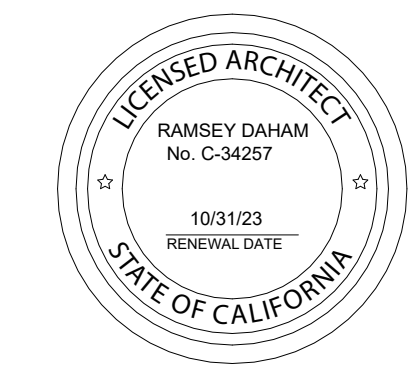
F.A.R. - GROUND FLOOR PLAN
3/32" = 1'-0" 2



F.A.R. - FOURTH FLOOR
3/32" = 1'-0" 5



F.A.R. - SUBTERRANEAN PARKING
3/32" = 1'-0" 1



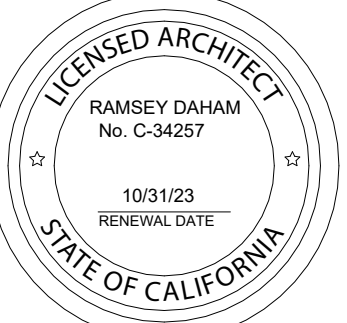
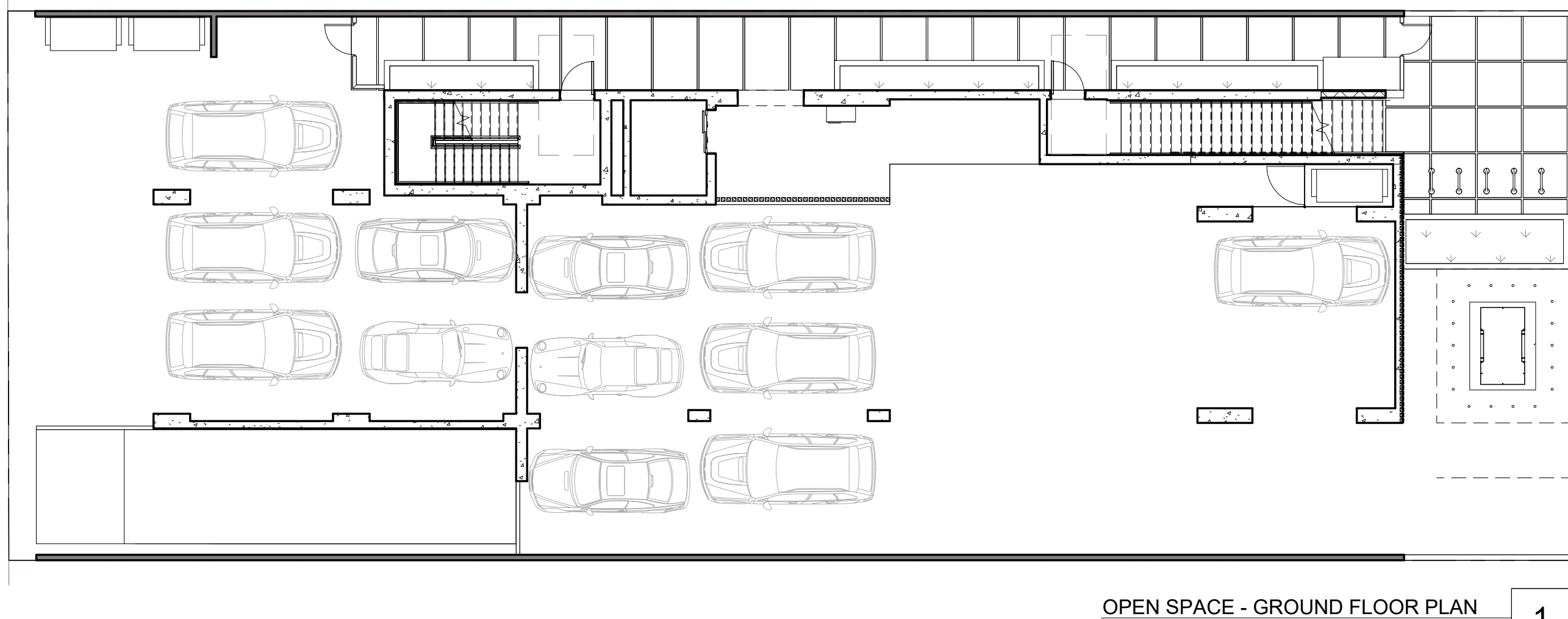
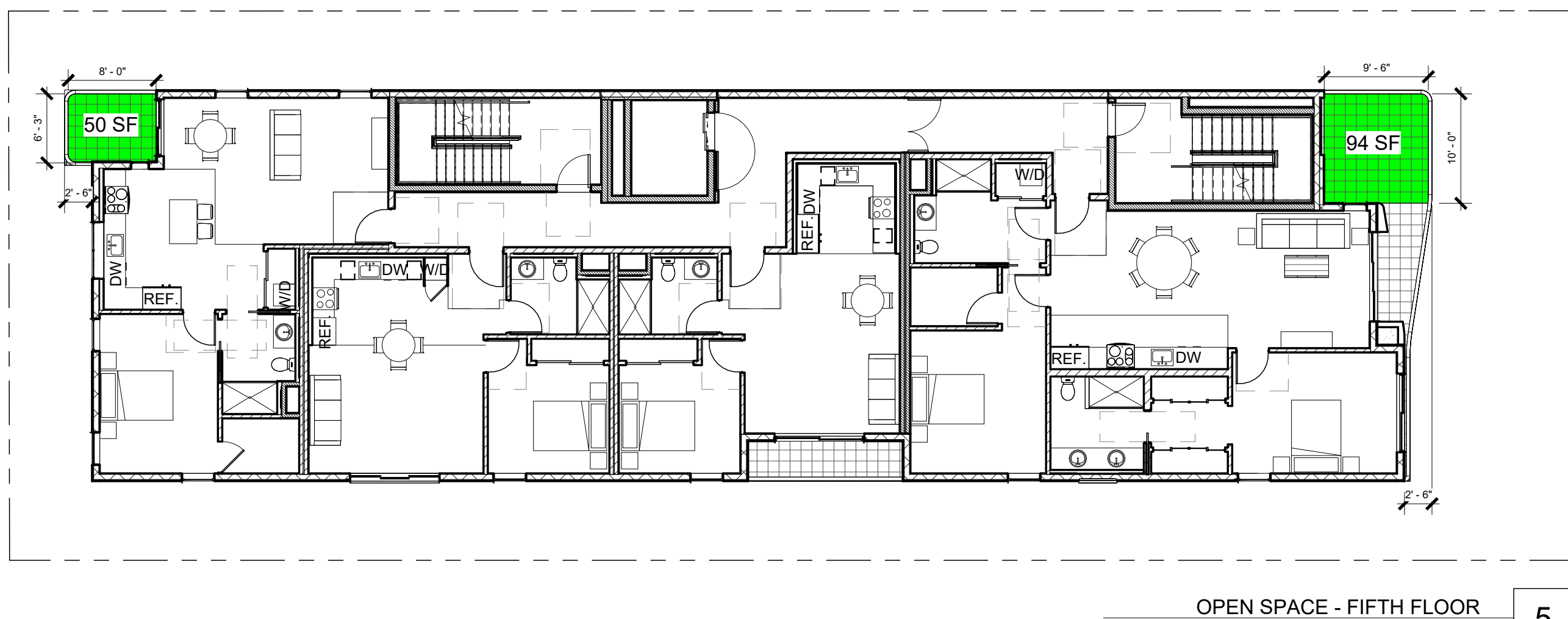
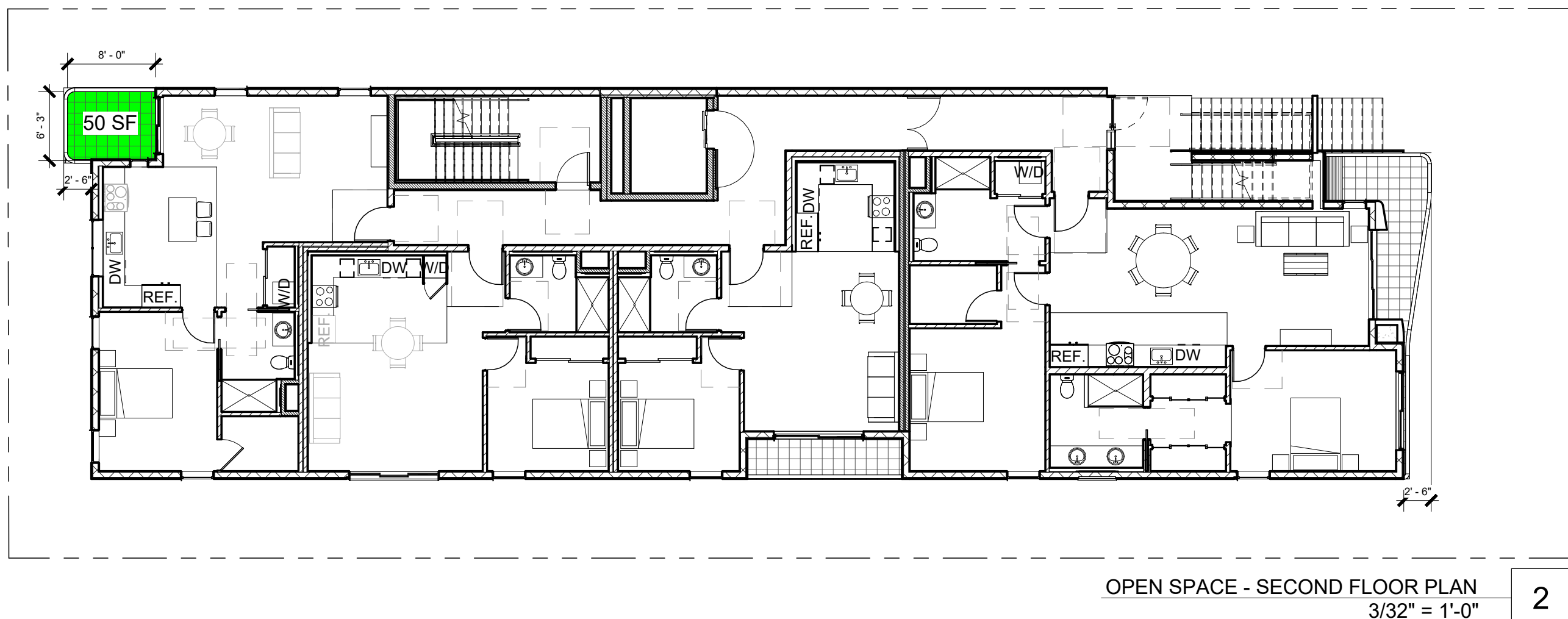
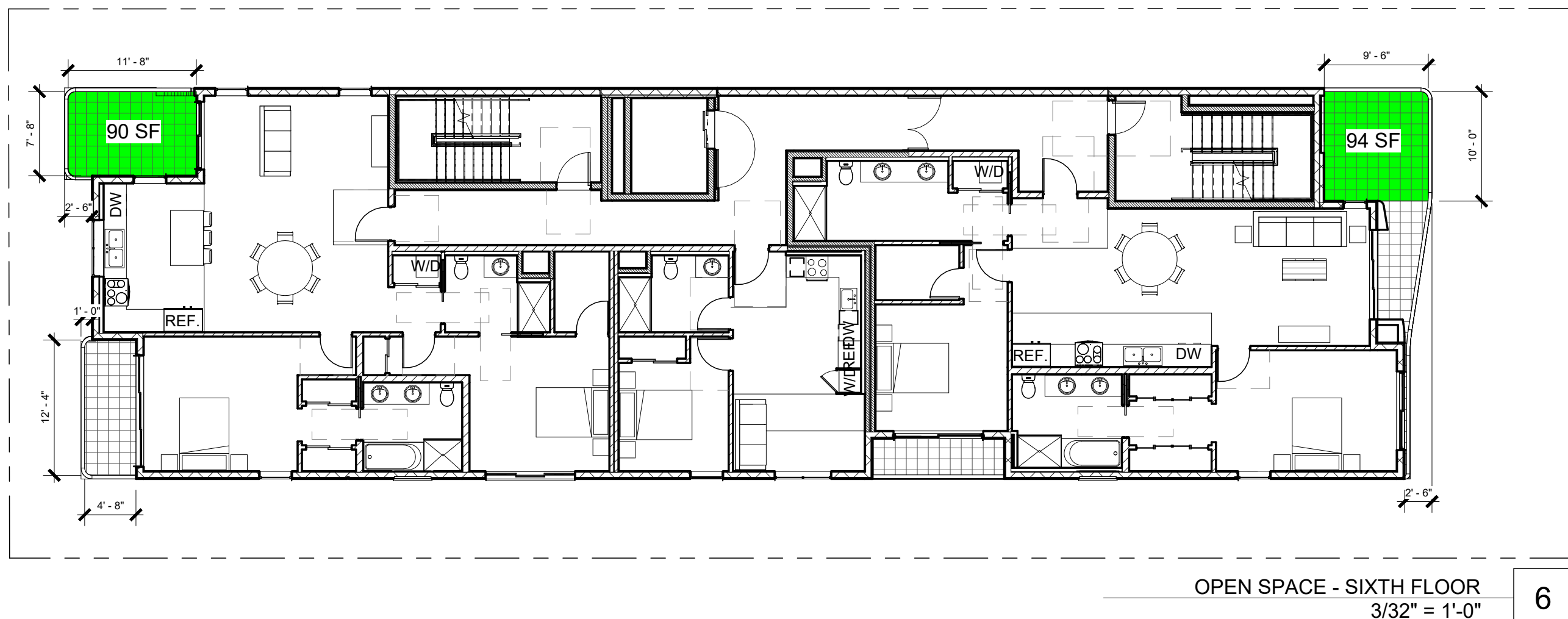
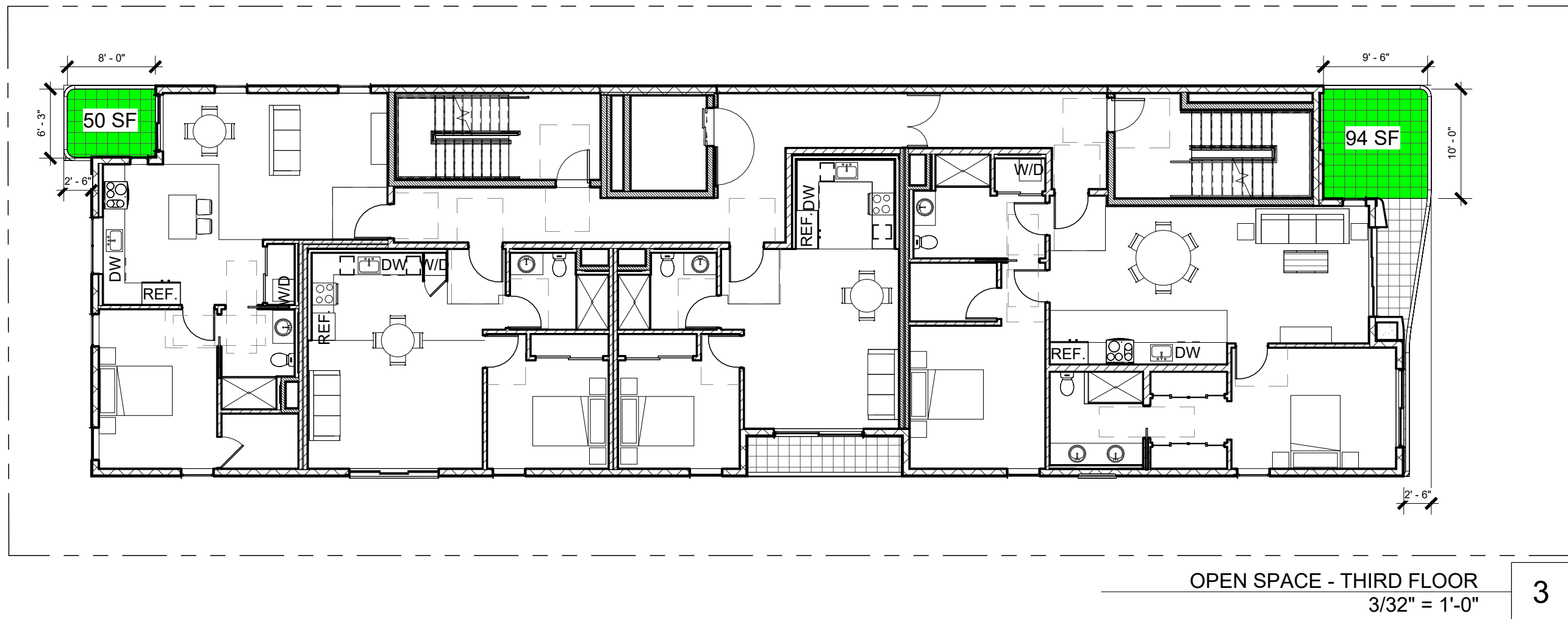
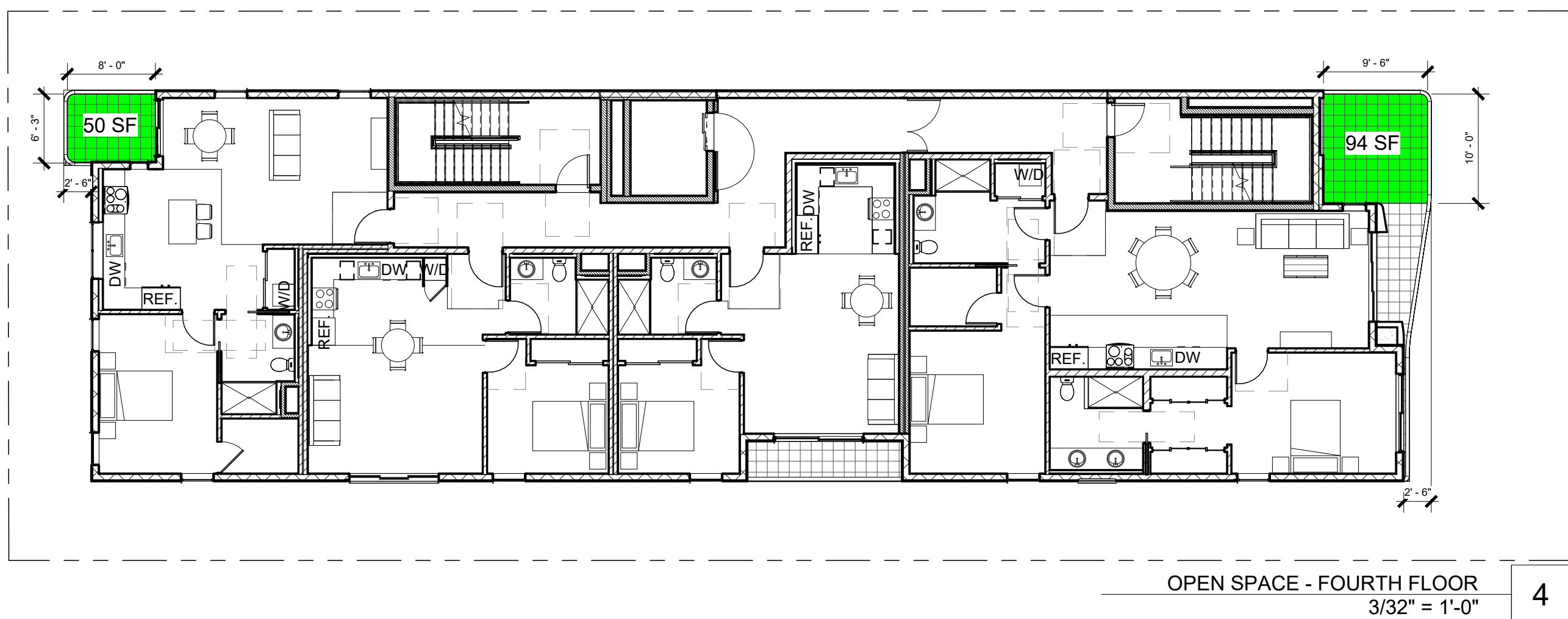
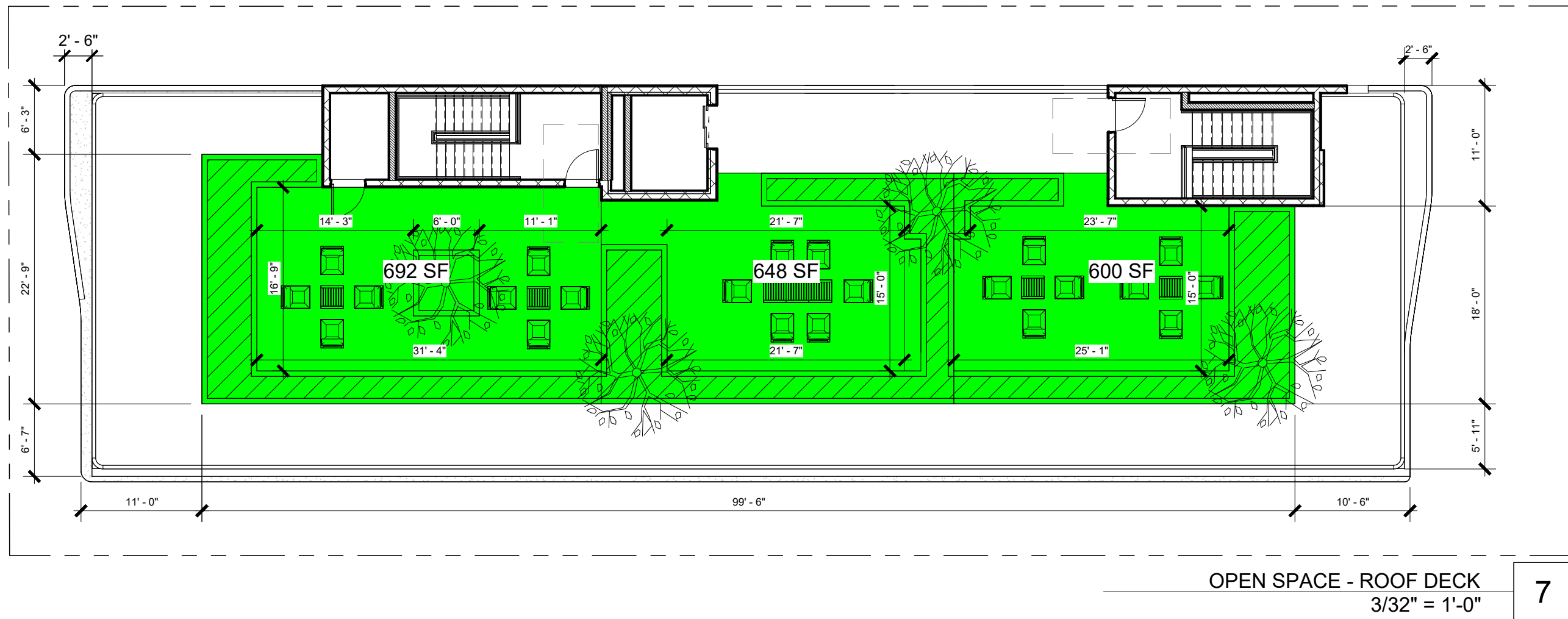
12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

AREA CALCULATION F.A.R.

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:35:51 PM
SCALE	As indicated
JOB #	23-A001

OPEN SPACE PROVIDED VS. REQUIRED			
PROVIDED		REQUIRED	
COMMON OPEN SPACE:	1,940 SF	13 UNITS @ < 3 HABITABLE ROOMS (100 S.F.) (19 UNITS)(100 S.F.) =	1,300 SF
MAX 50 SF PRIVATE OPEN SPACE COUNTED TOWARDS CALCULATION BASED ON ZONING CODE 12.21 G 2 (b) (2):	450 SF	6 UNITS @ 3 HABITABLE ROOMS (125 S.F.) (0 UNITS)(125 S.F.) =	750 SF
TOTAL PROVIDED OPEN SPACE:	2,390 SF	TOTAL REQUIRED OPEN SPACE:	2,050 SF
COMMON OPEN SPACE TREE COUNT			
PROVIDED		REQUIRED	
ON SITE	4 TREE	1 TREE PER EVERY 4 UNITS (24" BOX TREES REQUIRED PER LAMC 12.21 G.A(3))	
ON SIDEWALK (1 STREET TREE WILL BE REMOVED FOR TRANSFORMER STAGING AREA)	1 TREES	19 UNITS / 4 =	4.75 TREES
TOTAL	6 TREES	TOTAL	5 TREES
PLANTED COMMON OPEN SPACE PER LAMC 12.21 G.A(3)			
COMMON OPEN SPACE PROVIDED	25 % REQUIRED	PROVIDED	
1,940 SF		485 SF	513 SF

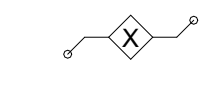
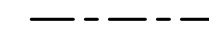
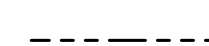














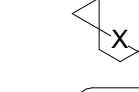

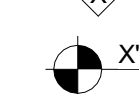
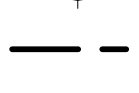
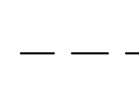

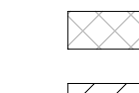
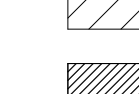
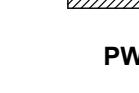

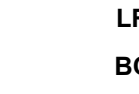


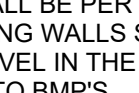
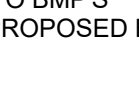



Revision Schedule	
Revision Number	Revision Date

AREA CALCULATION OPEN SPACE

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:35:57 PM
SCALE	3/32" = 1'-0"
JOB #	23-A001

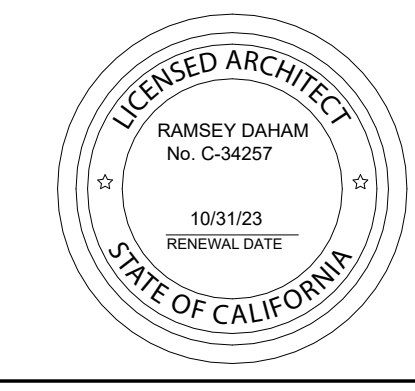
FLOOR PLAN LEGEND

-  FLOOR TYPE
-  1 HR
-  2 HR
-  SMOKE DETECTOR
-  CARBON MONOXIDE
-  EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)
-  STANDPIPE
-  ILLUMINATED EXIT SIGN
-  6' - 0" BLOCK WALL
-  3' - 6" BLOCK WALL
-  MB MASTER BEDROOM
-  BD BEDROOM
-  MBA MASTER BATHROOM
-  BA BATHROOM
-  LR LIVING ROOM
-  KI KITCHEN
-  DR DINING ROOM
-  WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE)
-  DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE)
-  WALL TYPE
-  ELEVATION MARKER
-  PROPERTY LINE
-  ACCESSIBLE ROUTE
-  HOSE BIB
-  EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
-  INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
-  INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
-  PWR POWDER ROOM
-  CL CLOSET
-  WIC WALK IN CLOSET
-  LR LAUNDRY ROOM
-  BC BALCONY
-  EN ENTRY

- NOTES:**
1. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
 2. FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD.
 3. DOWNSPOUT(S) DISCHARGING INTO BMP(S)
 4. ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP

breakformdesign

127 arena street, el segundo, ca 90245
[o] 310.322.3700

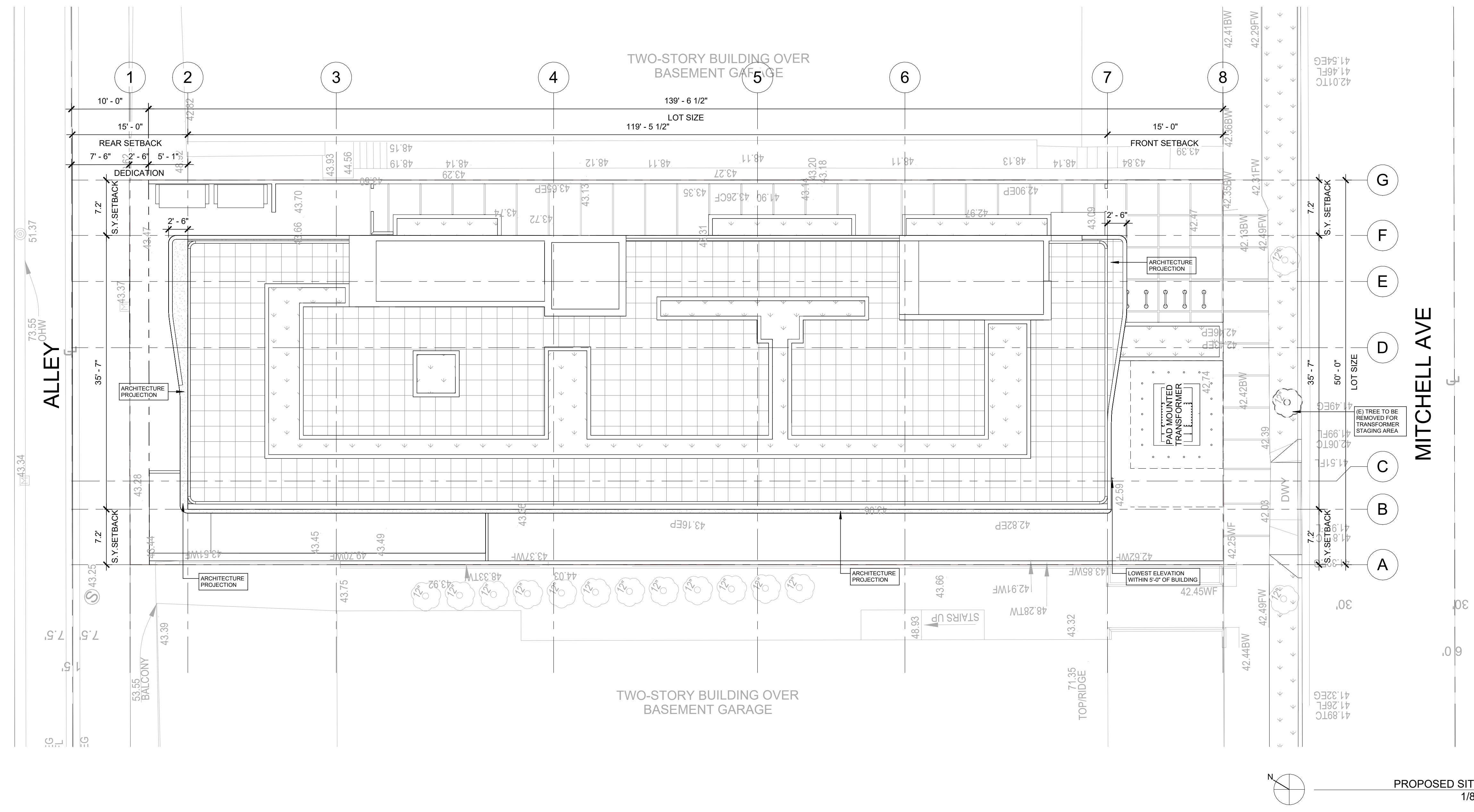


12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

PROPOSED SITE PLAN

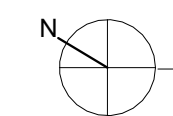
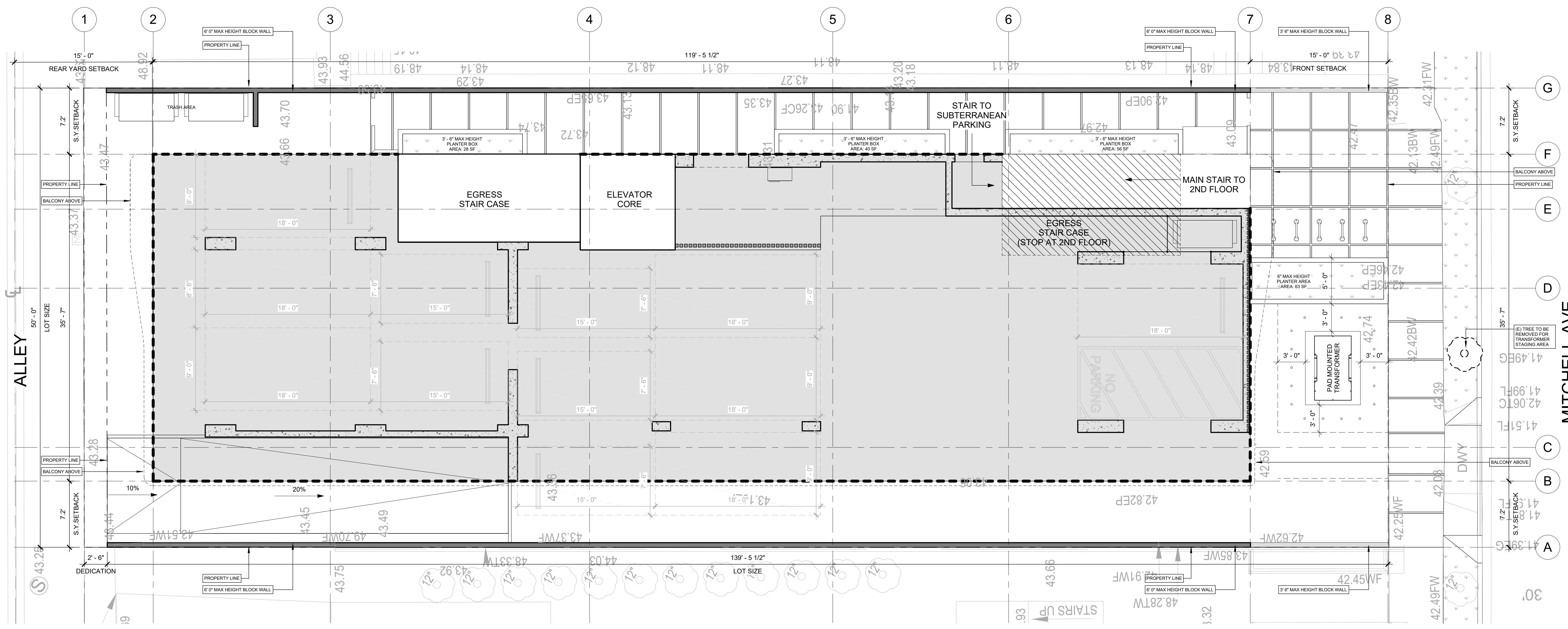
DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:35:59 PM
SCALE	As indicated
JOB #	23-A001



FLOOR PLAN LEGEND

- | | | | |
|------------|--------------------------------------------------------------|------------|------------------------------------------------------------------|
| | FLOOR TYPE | | WINDOW TAG
(SEE PAGE A0.11 FOR SCHEDULE) |
| | | | DOOR TAG
(SEE PAGE A0.10 FOR SCHEDULE) |
| | SMOKE DETECTOR | | WALL TYPE |
| | CARBON MONOXIDE | | ELEVATION MARKER |
| | EXHAUST FAN
(50 CFM INTERMITTENT
OR 35 CFM CONTINUOUS) | | PROPERTY LINE |
| | STANDPIPE | | ACCESSIBLE ROUTE |
| | ILLUMINATED EXIT SIGN | | HOSE BIB |
| | 6\"/> | | EXTERIOR WALL - 2HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
| | 3\"/> | | INTERIOR WALL - 1HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
| | | | INTERIOR WALL - 2HR FIRE RATED
(SEE WALL TYPES FOR SPECIFICS) |
| MB | MASTER BEDROOM | PWR | POWDER ROOM |
| BD | BEDROOM | CL | CLOSET |
| MBA | MASTER BATHROOM | WIC | WALK IN CLOSET |
| BA | BATHROOM | LR | LAUNDRY ROOM |
| LR | LIVING ROOM | BC | BALCONY |
| KI | KITCHEN | EN | ENTRY |
| DR | DINING ROOM | | |

- NOTES:**
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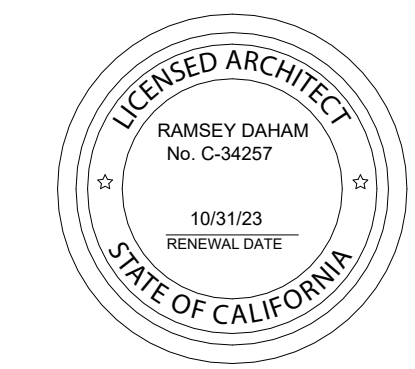


PROPOSED PLOT PLAN
3/16" = 1'-0"

1

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[o] 310.322.3700



12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

PROPOSED PLOT PLAN

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:01 PM
SCALE	As indicated
JOB #	23-A001

A1.01

EV PARKING

DEFINITIONS:

EVSE: ELECTRIC VEHICLE SUPPLY EQUIPMENT
 EVCS: ELECTRIC VEHICLE CHARGING STATION

REQUIRED EV:

(BASED ON THE 19 PROVIDED SPACES)
 30% OF THE TOTAL TO BE EV SPACES
 19 x 30% = 5.7 → 6
 10% OF THE TOTAL NUMBER TO BE EVCS
 19 x 10% = 1.9 → 2

PROVIDED EV SPACES:

EVSE = 4 SPACES (9'x18' STALLS)
 EVCS = 2 SPACES (9'x18' STALL W/ 1 STALL HAS 8' WIDE AISLE)

KEYNOTE LEGEND

- 1 LONG TERM BICYCLE PARKING
*SEE 7/A0.11 D FOR DETAIL
TOTAL: 24 SPACES
- 2 SHORT TERM BICYCLE PARKING
*SEE 2/A0.20 FOR DETAIL
TOTAL: 5 RACKS X 2 = 10 SPACES
- 3 STANDARD PARKING SPACE
- 4 COMPACT PARKING SPACE
- 5 ADA PARKING SPACE WITH 8' LOADING
- 6 EVCS PARKING SPACE WITH 8' LOADING
- 7 ACCESSIBLE PATH
- 8 DRIVEWAY
- 9 FIRST FLOOR ENTRY
- 10 EGRESS STAIR
- 11 ELEVATOR
- 12 ELEVATOR MECH. ROOM
- 13 MECH. CHASE
- 14 ELECTRIC METERS
- 15 GAS METERS
- 16 UNIT MAIL BOXES
- 17 TRASH / RECYCLING
- 18 STAIRWAY IDENTIFICATION SIGN
- 19 UNAUTHORIZED VEHICLES SIGN
ADA VAN PARKING SIGN
- 20 IRRIGATION CONTROLLER

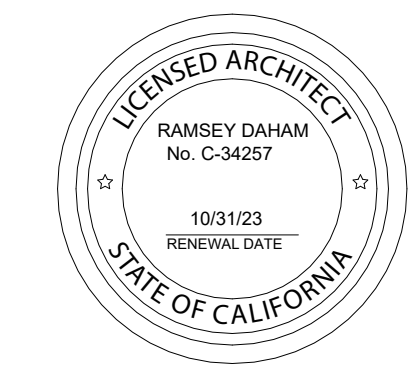
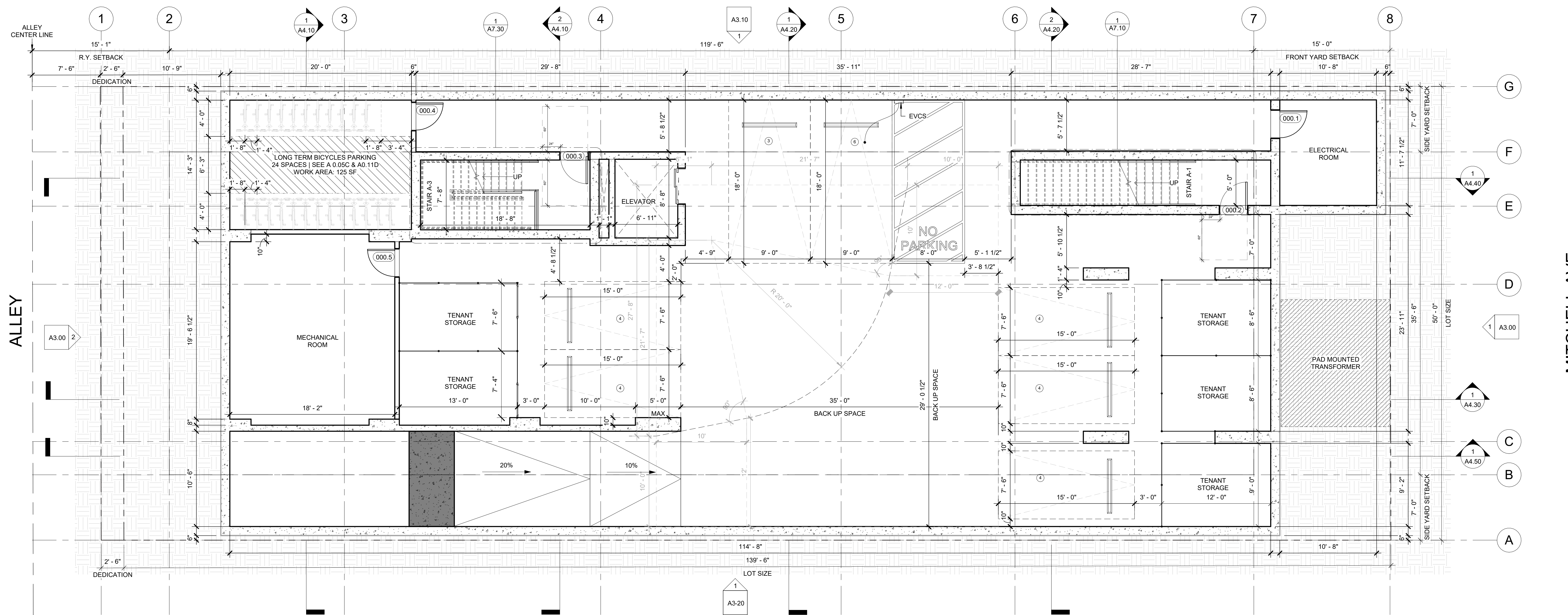
ASSEMBLY TYPES

- WALLS**
- 1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)
 - 2 2x6 PLUMBING WALL ASSM. (2/A0.13)
 - 3 1-HR 2x6 EXTERIOR WALL ASSM. (3/A0.13)
 - 4 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)
 - 5 1-HR DOUBLE WALL ASSM. (5/A0.13)
 - 6 CONC. WALL PER STRC. (6/A0.13)
 - 7 CONC. RETAINING WALL PER STRC. (7/A0.13)
 - 8 CMU WALL PER STRC. (8/A0.13)
 - 9 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)
- FLOORS**
- 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)
 - 2 CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)
 - 3 CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)
 - 4 WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)
 - 5 WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)
 - 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)
 - 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)

FLOOR PLAN LEGEND

- FLOOR TYPE**
- 1 HR
 - 2 HR
- SMOKE DETECTOR** (SD)
- CARBON MONOXIDE** (CM)
- EXHAUST FAN** (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)
- STANDPIPE** (S)
- ILLUMINATED EXIT SIGN**
- 6" - 0" BLOCK WALL**
- 3" - 6" BLOCK WALL**
- MB** MASTER BEDROOM
BD BEDROOM
MBA MASTER BATHROOM
BA BATHROOM
LR LIVING ROOM
KI KITCHEN
DR DINING ROOM
- WINDOW TAG** (SEE PAGE A0.11 FOR SCHEDULE)
DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE)
WALL TYPE
- ELEVATION MARKER** (X-X')
- PROPERTY LINE**
- ACCESSIBLE ROUTE**
- HOSE BIB**
- EXTERIOR WALL - 2HR FIRE RATED** (SEE WALL TYPES FOR SPECIFICS)
INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
POWDER ROOM
CLOSET
WALK IN CLOSET
LAUNDRY ROOM
BALCONY
ENTRY

- NOTES:**
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MITCHELL AVE

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Revision Schedule	
Revision Number	Revision Date

PROPOSED PLANS

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:01 PM
SCALE	As indicated
JOB #	23-A001

EV PARKING

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19 x 30% = 5.7 → 6

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- 19 UNAUTHORIZED VEHICLES SIGN ADA VAN PARKING SIGN
- 20 IRRIGATION CONTROLLER

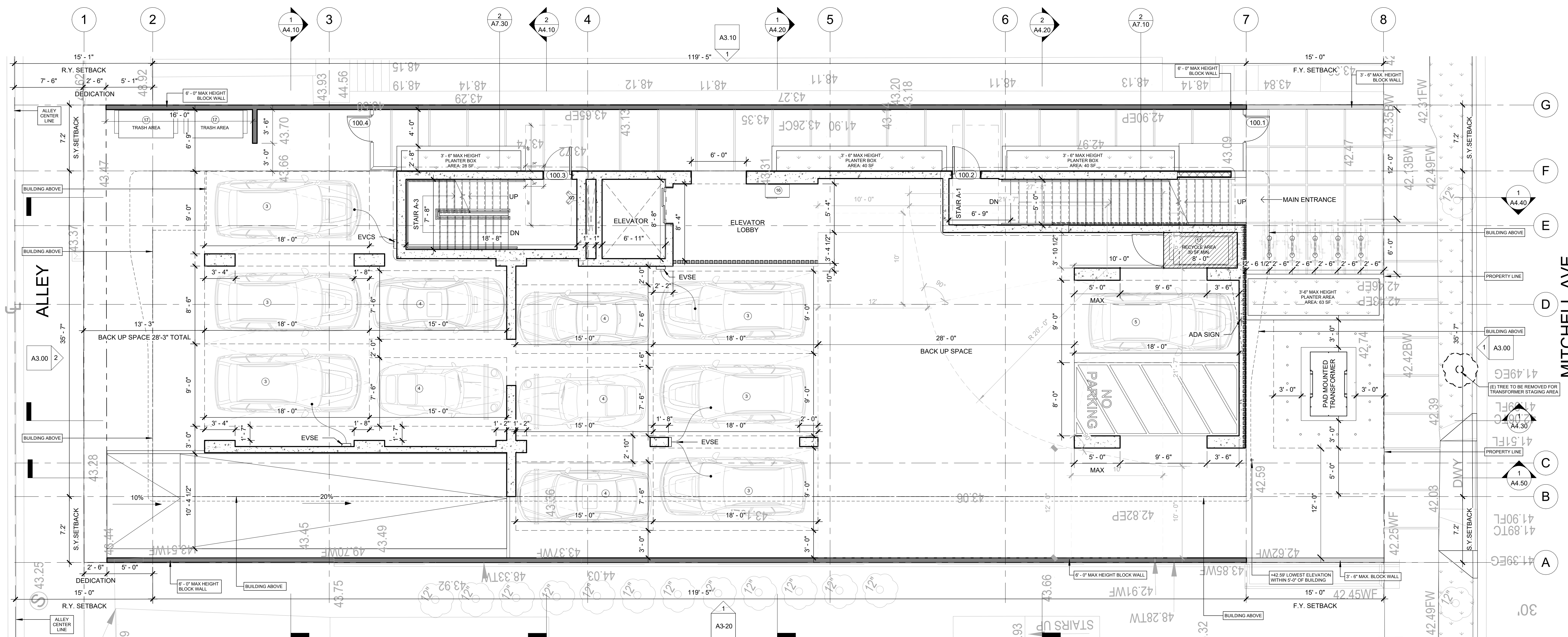
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- 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)
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 - 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)
 - 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)

FLOOR PLAN LEGEND

- FLOOR TYPE**
- 1 HR
 - 2 HR
- SMOKE DETECTOR**
- CARBON MONOXIDE**
- EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)**
- STANDPIPE**
- ILLUMINATED EXIT SIGN**
- 6" - 0" BLOCK WALL**
- 3" - 0" BLOCK WALL**
- MB MASTER BEDROOM**
- BD BEDROOM**
- MBA MASTER BATHROOM**
- BA BATHROOM**
- LR LIVING ROOM**
- KI KITCHEN**
- DR DINING ROOM**
- WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE)**
- DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE)**
- WALL TYPE**
- ELEVATION MARKER**
- PROPERTY LINE**
- ACCESSIBLE ROUTE**
- HOSE BIB**
- EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)**
- INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)**
- INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)**
- POWDER ROOM**
- CLOSET**
- WALK IN CLOSET**
- LAUNDRY ROOM**
- BALCONY**
- ENTRY**

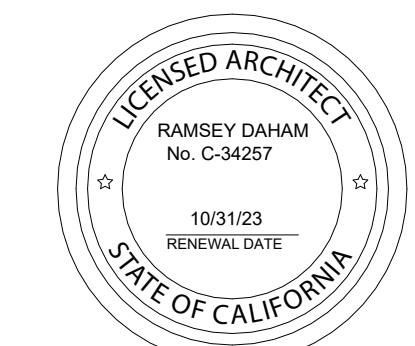
- NOTES:**
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
 - FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD.
 - DOWNSPOUT(S) DISCHARGING INTO BMP'S
 - ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP



GROUND FLOOR PLAN
 3/16" = 1'-0"

breakformdesign

127 arena street, el segundo, ca 90245
 [o] 310.322.3700



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Revision Schedule

Revision Number	Revision Date

PROPOSED PLANS

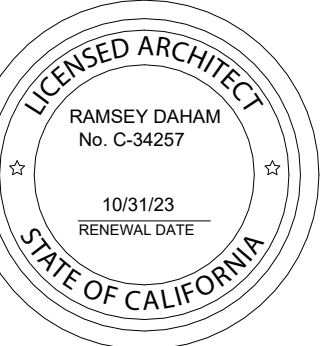
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DATE 9/7/2023 4:36:03 PM

SCALE As indicated

JOB # 23-A001

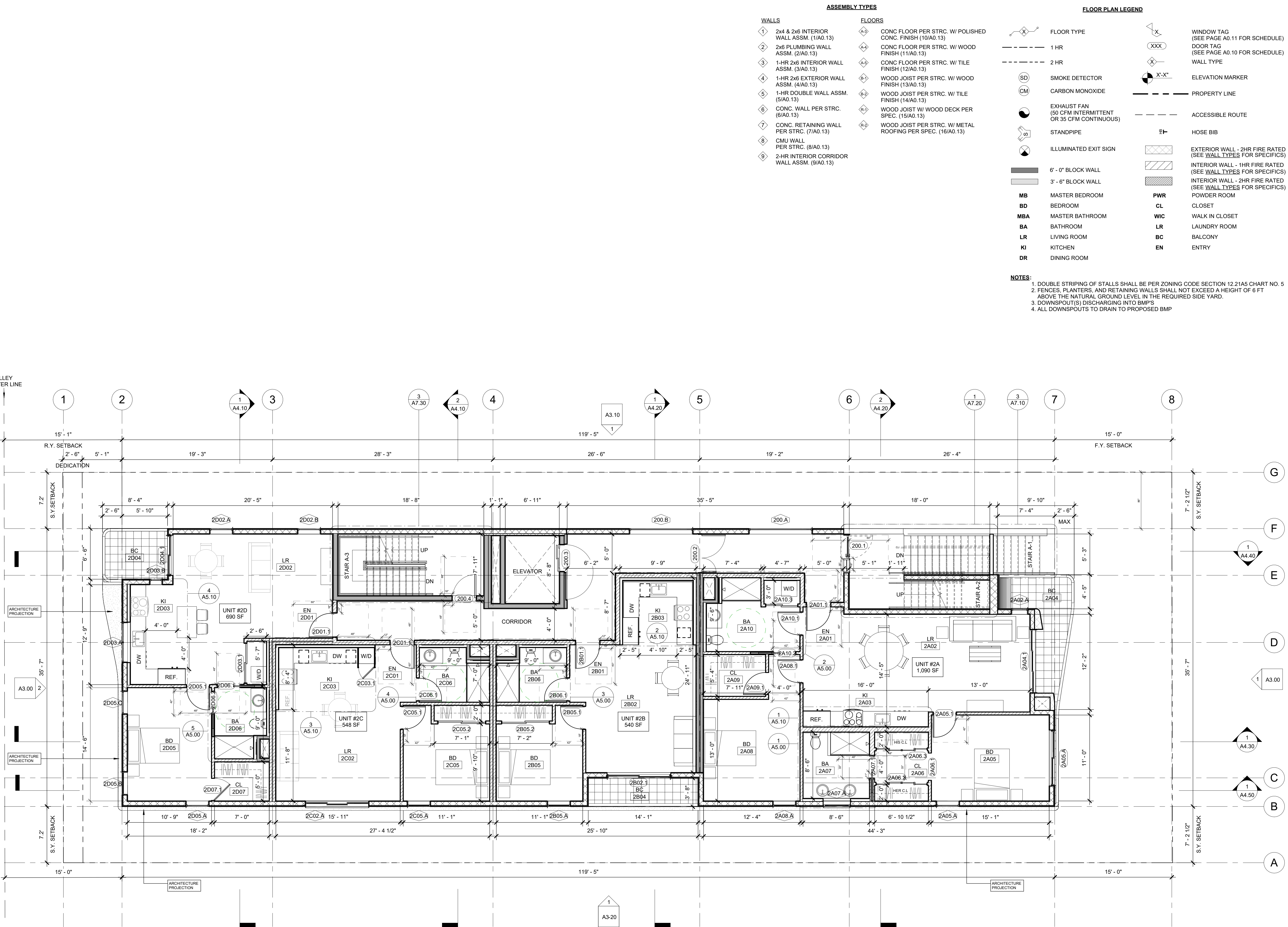


12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

PROPOSED PLANS

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DATE	9/7/2023 4:36:04 PM
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JOB #	23-A001



ASSEMBLY TYPES

WALLS	FLOORS
1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)	1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)
2 2x6 PLUMBING WALL ASSM. (2/A0.13)	2 CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)
3 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)	3 CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)
4 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)	4 WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)
5 1-HR DOUBLE WALL ASSM. (5/A0.13)	5 WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)
6 CONC. WALL PER STRC. (6/A0.13)	6 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)
7 CONC. RETAINING WALL PER STRC. (7/A0.13)	7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)
8 CMU WALL PER STRC. (8/A0.13)	
9 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)	

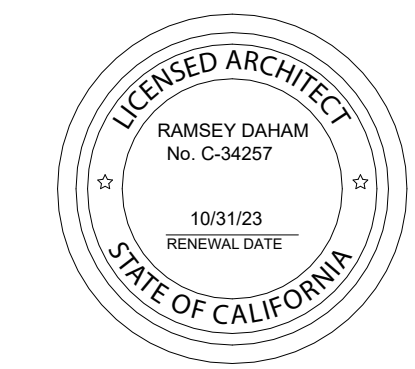
FLOOR PLAN LEGEND

1 HR	FLOOR TYPE	WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE)
2 HR	SMOKE DETECTOR (SD)	DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE)
	CARBON MONOXIDE (CM)	WALL TYPE
	EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)	ELEVATION MARKER (X-X')
	STANDPIPE	PROPERTY LINE
	ILLUMINATED EXIT SIGN	ACCESSIBLE ROUTE
6" - 0" BLOCK WALL		HOSE BIB
3" - 6" BLOCK WALL		EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
		INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
		INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
		POWDER ROOM
MB MASTER BEDROOM	PWR	CLOSET
BD BEDROOM	CL	WALK IN CLOSET
MBA MASTER BATHROOM	WIC	LAUNDRY ROOM
BA BATHROOM	LR	BALCONY
LR LIVING ROOM	BC	ENTRY
KI KITCHEN	EN	
DR DINING ROOM		

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
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- DOWNSPOUT(S) DISCHARGING INTO BMP'S
- ALL DOWNSPOUTS TO DRAIN TO PROPOSED BMP

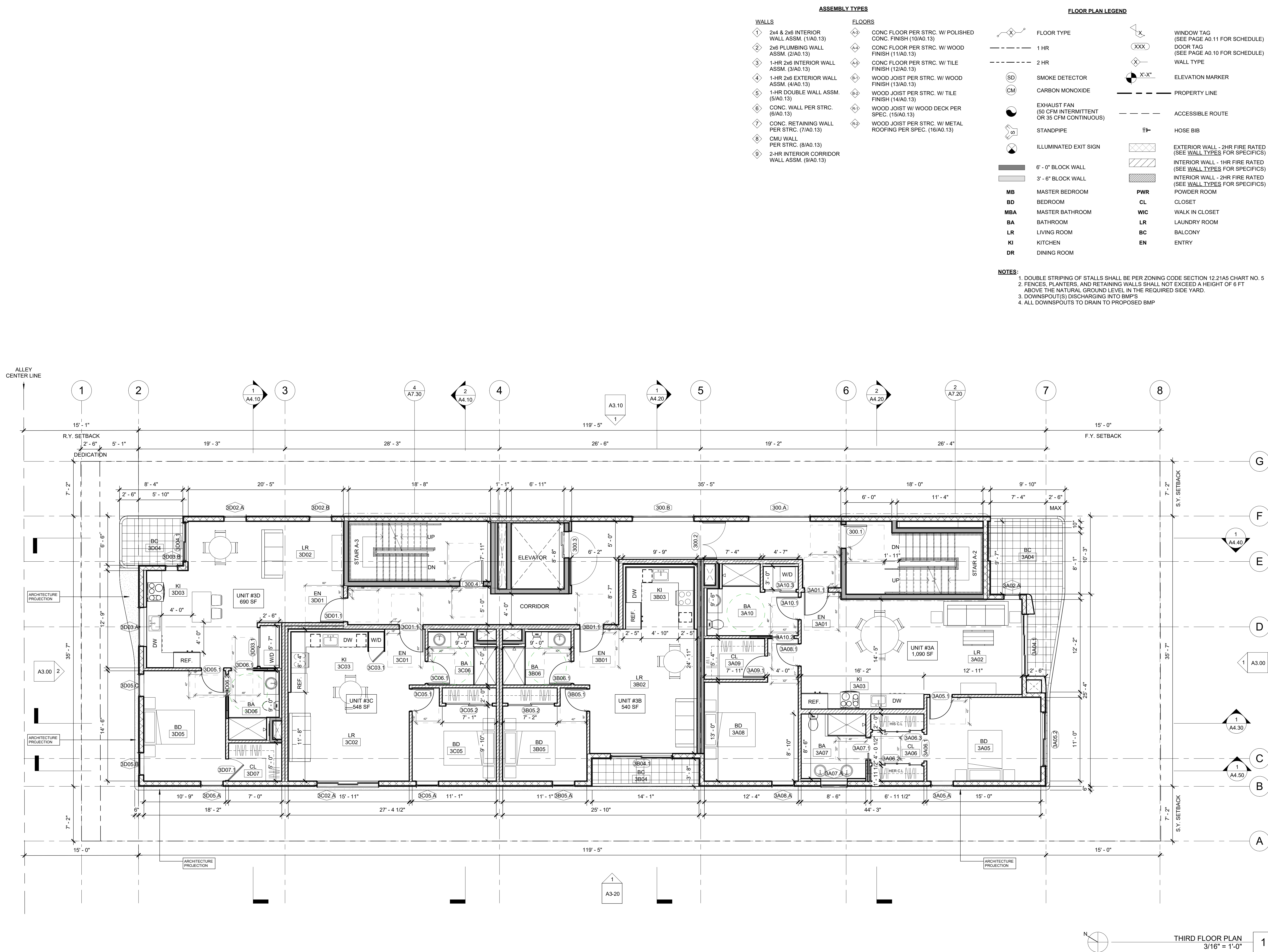
BATHROOM PLAN TYP. (2A, 3A, 4A, 5A)
3/16" = 1'-0"



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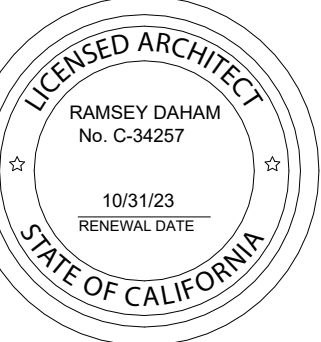
Revision Schedule	
Revision Number	Revision Date

PROPOSED PLANS	
DRAWN	Author
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DATE	9/7/2023 4:36:05 PM
SCALE	As indicated
JOB #	23-A001



- ASSEMBLY TYPES**
- | | |
|-----------------------------------------------|--------------------------------------------------------------|
| ① 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13) | ④ CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13) |
| ② 2x6 PLUMBING WALL ASSM. (2/A0.13) | ④ CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13) |
| ③ 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13) | ④ CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13) |
| ④ 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13) | ⑥ WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13) |
| ⑤ 1-HR DOUBLE WALL ASSM. (5/A0.13) | ⑥ WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13) |
| ⑥ CONC. WALL PER STRC. (6/A0.13) | ⑥ WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13) |
| ⑦ CONC. RETAINING WALL PER STRC. (7/A0.13) | ⑥ WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13) |
| ⑧ CMU WALL PER STRC. (8/A0.13) | |
| ⑨ 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13) | |
- FLOORS**
- ④ CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)
④ CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)
④ CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)
⑥ WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)
⑥ WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)
⑥ WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)
⑥ WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)
- FLOOR PLAN LEGEND**
- | | |
|--------------------------------------------------------|-----------------------------------------------------------------|
| —◇— FLOOR TYPE | XXX WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE) |
| --- 1 HR | XXX DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE) |
| --- 2 HR | ◇ WALL TYPE |
| ⊙ SD SMOKE DETECTOR | ⊙ X-X" ELEVATION MARKER |
| ⊙ CM CARBON MONOXIDE | --- PROPERTY LINE |
| EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS) | --- ACCESSIBLE ROUTE |
| ⊙ STANDPIPE | ⊙ HOSE BIB |
| ⊙ ILLUMINATED EXIT SIGN | ▨ EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| 6" - 0" BLOCK WALL | ▨ INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| 3" - 6" BLOCK WALL | ▨ INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| MB MASTER BEDROOM | PWR POWDER ROOM |
| BD BEDROOM | CL CLOSET |
| MBA MASTER BATHROOM | WIC WALK IN CLOSET |
| BA BATHROOM | LR LAUNDRY ROOM |
| LR LIVING ROOM | BC BALCONY |
| KI KITCHEN | EN ENTRY |
| DR DINING ROOM | |
- NOTES:**
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
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THIRD FLOOR PLAN
3/16" = 1'-0"



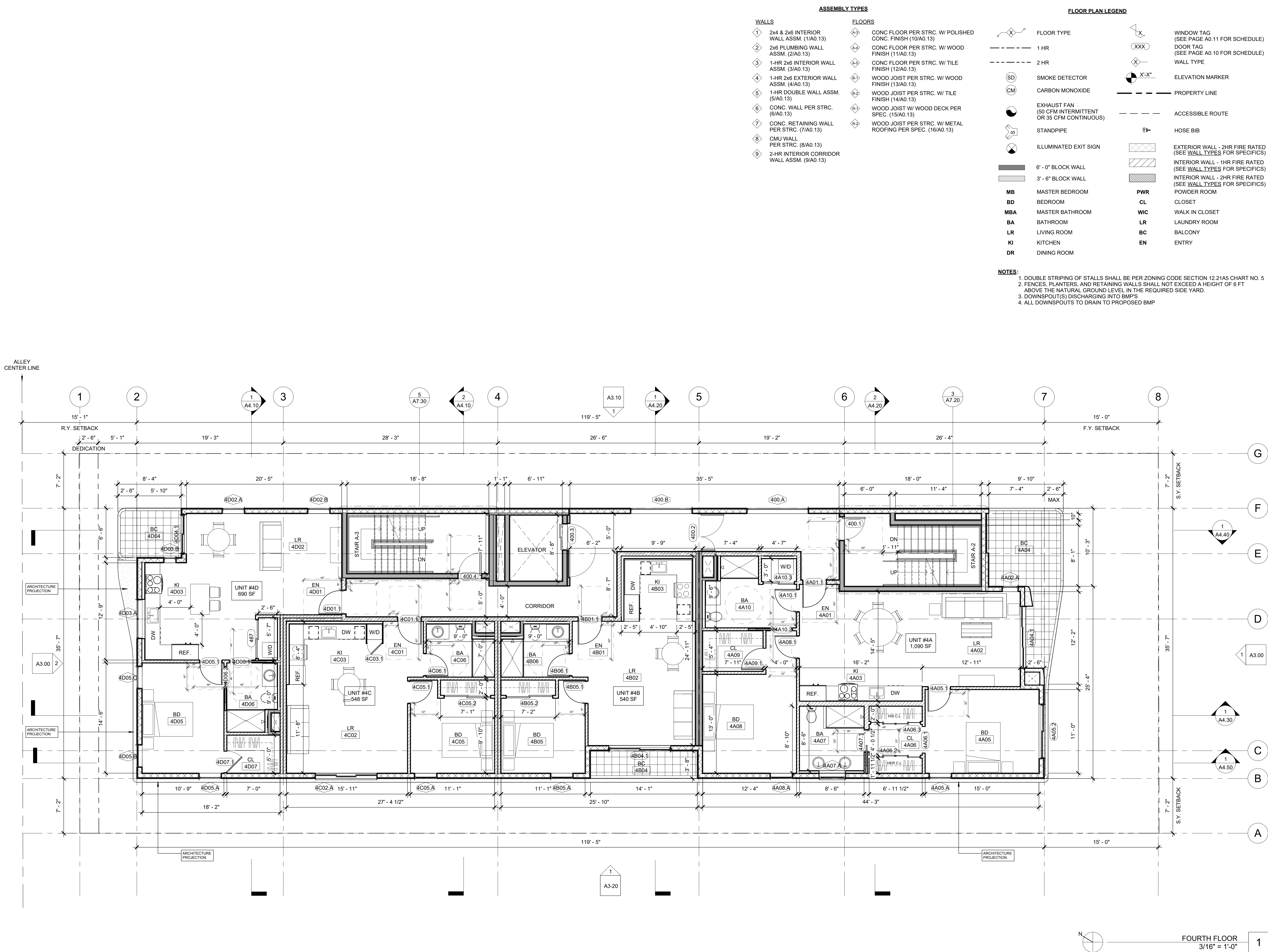
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Revision Schedule

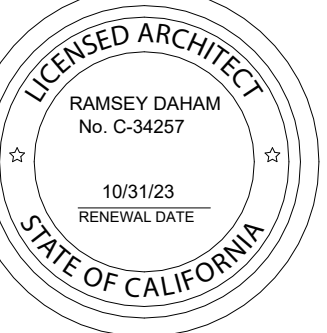
Revision Number	Revision Date
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2	A4.40
3	A7.20
4	A4.10
5	A7.30
6	A4.20
7	A7.20
8	A4.10
9	A4.50

PROPOSED PLANS

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:08 PM
SCALE	As indicated
JOB #	23-A001



- ASSEMBLY TYPES**
- | | | | |
|---|---------------------------------------------|----|------------------------------------------------------------|
| 1 | 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13) | 4 | CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13) |
| 2 | 2x6 PLUMBING WALL ASSM. (2/A0.13) | 5 | CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13) |
| 3 | 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13) | 6 | CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13) |
| 4 | 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13) | 7 | WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13) |
| 5 | 1-HR DOUBLE WALL ASSM. (5/A0.13) | 8 | WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13) |
| 6 | CONC. WALL PER STRC. (6/A0.13) | 9 | WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13) |
| 7 | CONC. RETAINING WALL PER STRC. (7/A0.13) | 10 | WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13) |
| 8 | CMU WALL PER STRC. (8/A0.13) | | |
| 9 | 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13) | | |
- FLOORS**
- CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)
 CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)
 CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)
 WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)
 WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)
 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)
 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)
- FLOOR PLAN LEGEND**
- | | | | |
|--------------------------------------------------------|-----------------|------|---------------------------------------------------------------|
| 1 HR | FLOOR TYPE | XXX | WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE) |
| 2 HR | | X-X" | DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE) |
| SD | SMOKE DETECTOR | | WALL TYPE |
| CM | CARBON MONOXIDE | | ELEVATION MARKER |
| EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS) | | | PROPERTY LINE |
| STANDPIPE | | | ACCESSIBLE ROUTE |
| ILLUMINATED EXIT SIGN | | | HOSE BIB |
| 6" - 0" BLOCK WALL | | | EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| 3" - 6" BLOCK WALL | | | INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| | | | INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS) |
| MB | MASTER BEDROOM | PWR | POWDER ROOM |
| BD | BEDROOM | CL | CLOSET |
| MBA | MASTER BATHROOM | WIC | WALK IN CLOSET |
| BA | BATHROOM | LR | LAUNDRY ROOM |
| LR | LIVING ROOM | BC | BALCONY |
| KI | KITCHEN | EN | ENTRY |
| DR | DINING ROOM | | |
- NOTES:**
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
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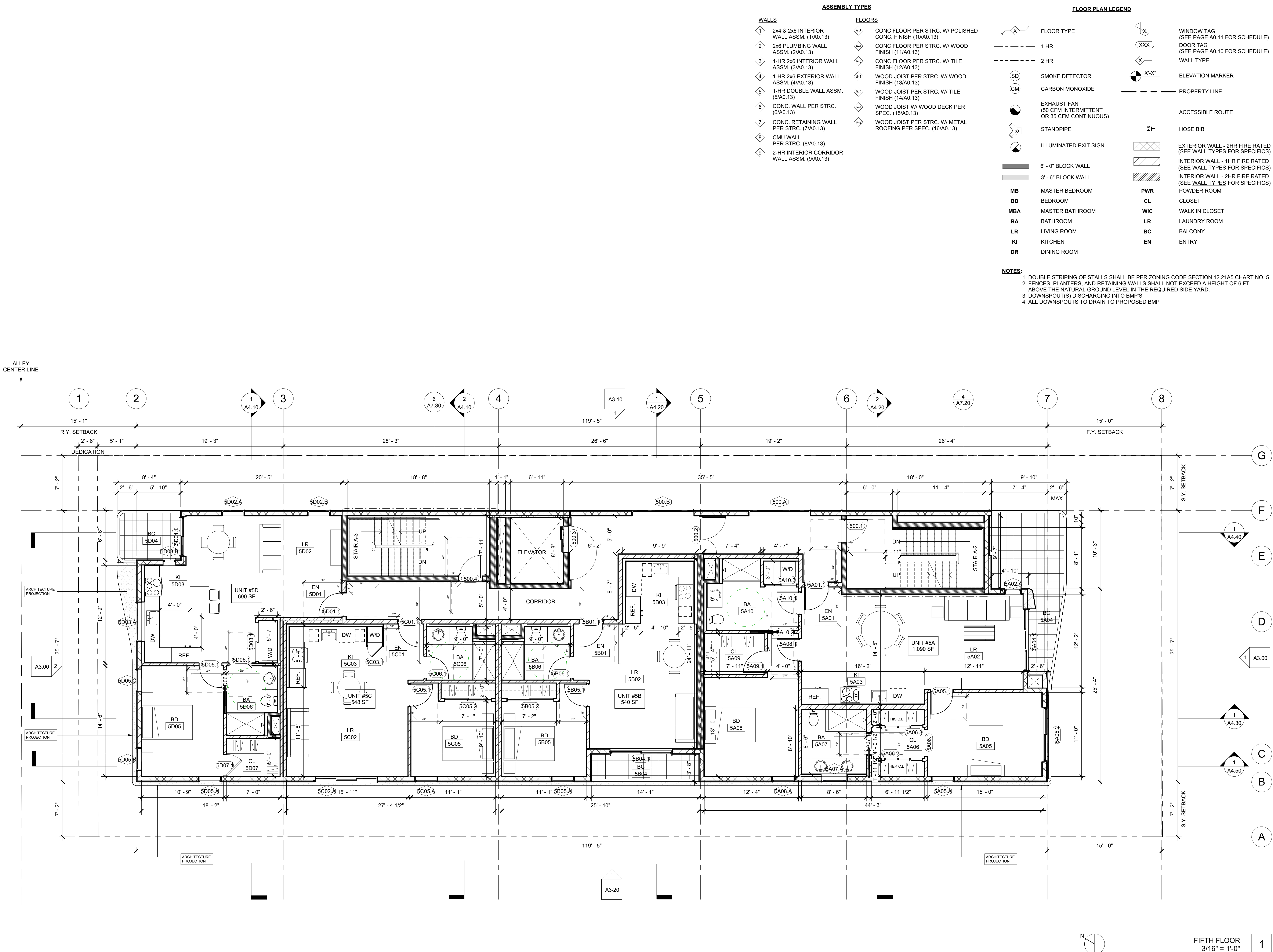
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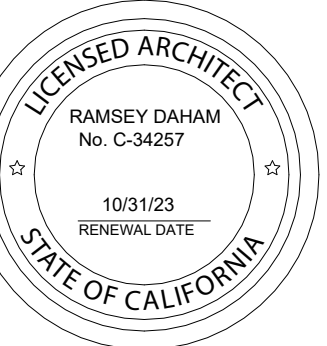
Revision Schedule

Revision Number	Revision Date
1	A3.00
2	A4.40
3	A4.30
4	A4.50

PROPOSED PLANS

DRAWN	Author
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DATE	9/7/2023 4:36:10 PM
SCALE	As indicated
JOB #	23-A001





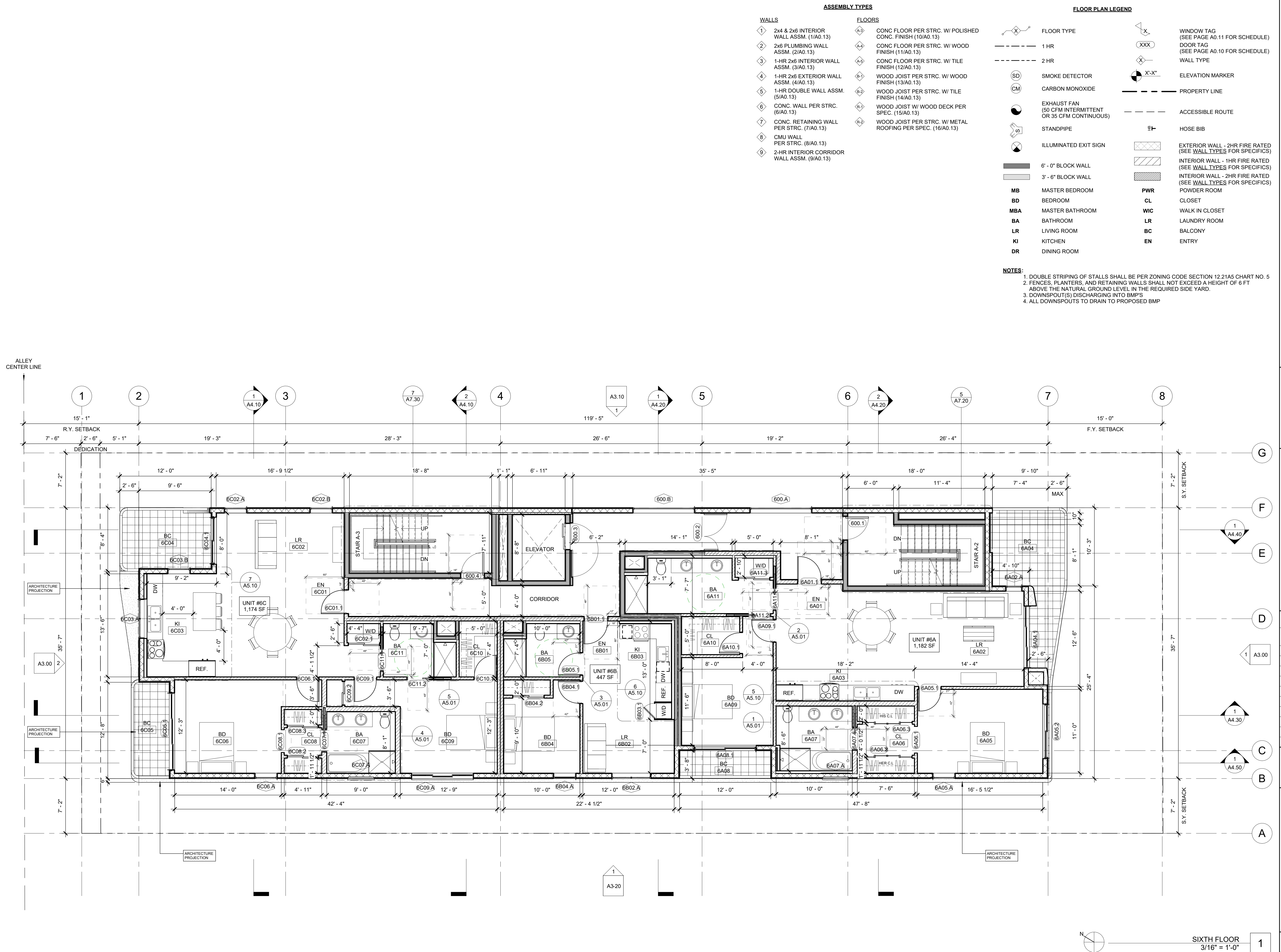
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Revision Schedule

Revision Number	Revision Date
1	A3.00
2	A4.30
3	A4.50

PROPOSED PLANS

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:12 PM
SCALE	As indicated
JOB #	23-A001



ASSEMBLY TYPES

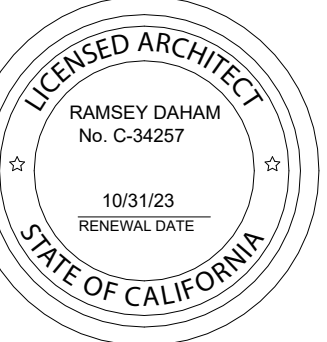
WALLS	FLOORS
1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)	1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)
2 2x6 PLUMBING WALL ASSM. (2/A0.13)	2 CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)
3 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)	3 CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)
4 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)	4 WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)
5 1-HR DOUBLE WALL ASSM. (5/A0.13)	5 WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)
6 CONC. WALL PER STRC. (6/A0.13)	6 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)
7 CONC. RETAINING WALL PER STRC. (7/A0.13)	7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)
8 CMU WALL PER STRC. (8/A0.13)	
9 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)	

FLOOR PLAN LEGEND

1 HR	FLOOR TYPE	WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE)
2 HR	SMOKE DETECTOR (SD)	DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE)
	CARBON MONOXIDE (CM)	WALL TYPE
	EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)	ELEVATION MARKER (X-X')
	STANDPIPE	PROPERTY LINE
	ILLUMINATED EXIT SIGN	ACCESSIBLE ROUTE
6'-0" BLOCK WALL		HOSE BIB
3'-6" BLOCK WALL		EXTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
MB MASTER BEDROOM		INTERIOR WALL - 1HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
BD BEDROOM		INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
MBA MASTER BATHROOM		POWDER ROOM
BA BATHROOM		CL CLOSET
LR LIVING ROOM		WIC WALK IN CLOSET
KI KITCHEN		LR LAUNDRY ROOM
DR DINING ROOM		BC BALCONY
		EN ENTRY

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5
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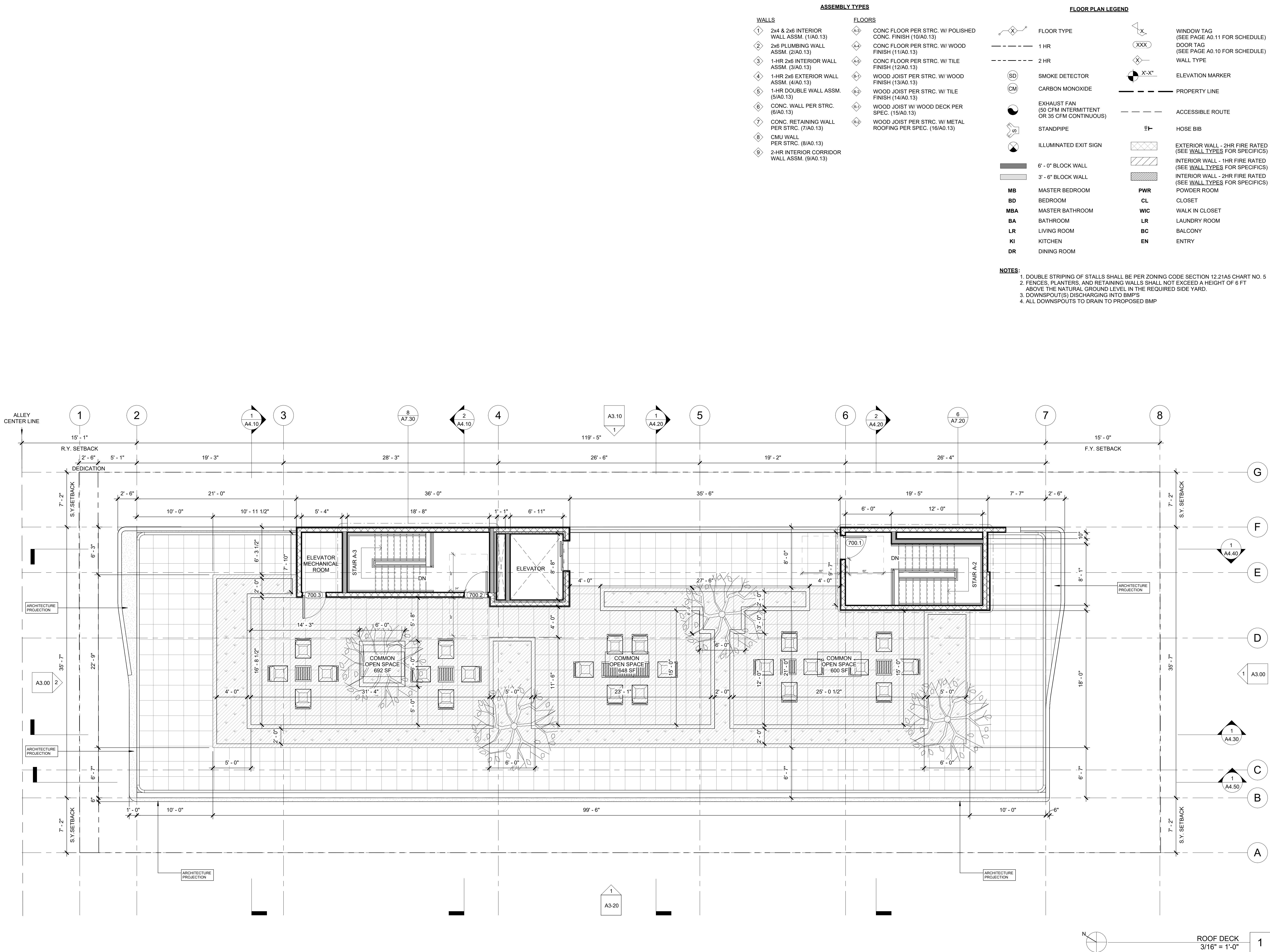
Revision Schedule

Revision Number	Revision Date
1	A3.00
1	A4.30
1	A4.50

PROPOSED PLANS

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CHECKED	Checker
DATE	9/7/2023 4:36:14 PM
SCALE	As indicated
JOB #	23-A001

A2.70



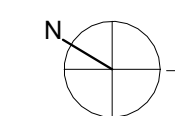
ASSEMBLY TYPES

WALLS	FLOORS
1 2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)	A3 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)
2 2x6 PLUMBING WALL ASSM. (2/A0.13)	A4 CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)
3 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)	A5 CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)
4 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)	B1 WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)
5 1-HR DOUBLE WALL ASSM. (5/A0.13)	B2 WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)
6 CONC. WALL PER STRC. (6/A0.13)	B3 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)
7 CONC. RETAINING WALL PER STRC. (7/A0.13)	B4 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)
8 CMU WALL PER STRC. (8/A0.13)	
9 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)	

FLOOR PLAN LEGEND

1 HR	FLOOR TYPE	WINDOW TAG (SEE PAGE A0.11 FOR SCHEDULE)
2 HR	SMOKE DETECTOR (SD)	DOOR TAG (SEE PAGE A0.10 FOR SCHEDULE)
	CARBON MONOXIDE (CM)	WALL TYPE
	EXHAUST FAN (50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)	ELEVATION MARKER (X-X')
	STANDPIPE	PROPERTY LINE
	ILLUMINATED EXIT SIGN	ACCESSIBLE ROUTE
6" - 0" BLOCK WALL		HOSE BIB
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BD BEDROOM		INTERIOR WALL - 2HR FIRE RATED (SEE WALL TYPES FOR SPECIFICS)
MBA MASTER BATHROOM		POWDER ROOM
BA BATHROOM		PWR
LR LIVING ROOM		CL CLOSET
KI KITCHEN		WIC WALK IN CLOSET
DR DINING ROOM		LR LAUNDRY ROOM
		BC BALCONY
		EN ENTRY

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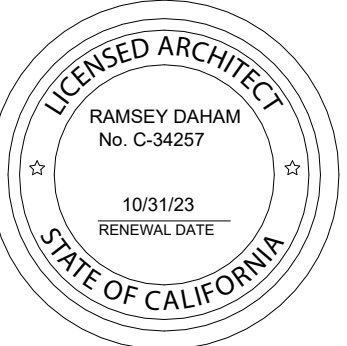
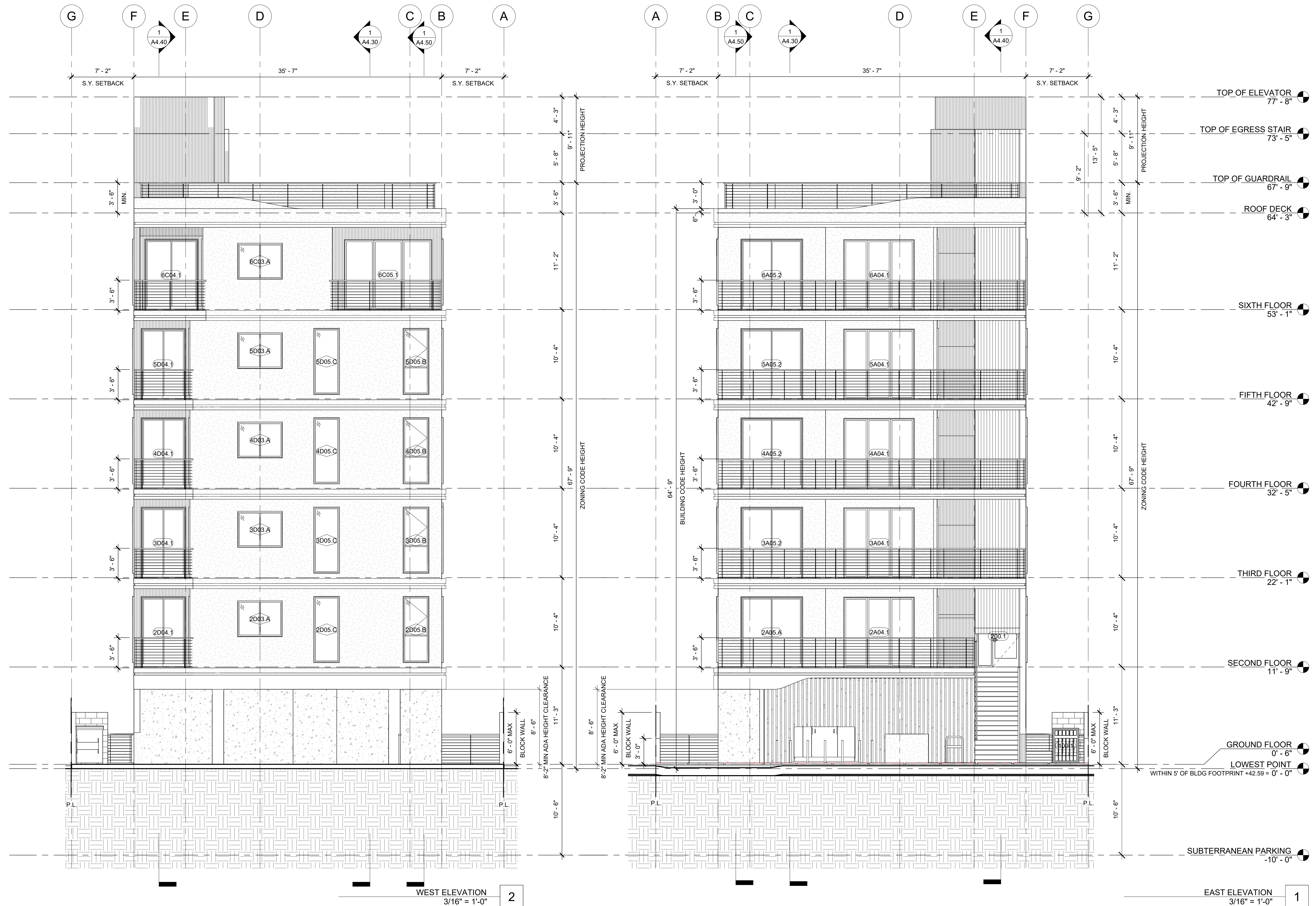
ROOF DECK
3/16" = 1'-0" 1

NOTE:
1. PROVIDE ANTI-GRAFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306

TAG

ELEVATION LEGEND

- | | | | |
|--|---------------------------------------------------------------------------|--|--------------------|
| | METAL PANELS
SEE A0.05 FOR SPECS | | PROPERTY LINE (PL) |
| | CEDAR T+G 1x6 (CLEAR VERTICAL GRAIN W/ CLEAR COAT)
SEE A0.05 FOR SPECS | | 1 HR |
| | STUCCO (WHITE)
SEE A0.05 FOR SPECS | | 2 HR |
| | DARK GRAY METAL | | WINDOW TAG |
| | | | DOOR TAG |
| | | | ELEVATION MARKER |



Revision Schedule

Revision Number	Revision Date

ELEVATIONS

DRAWN	Author
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DATE	9/7/2023 4:36:18 PM
SCALE	As indicated
JOB #	23-A001

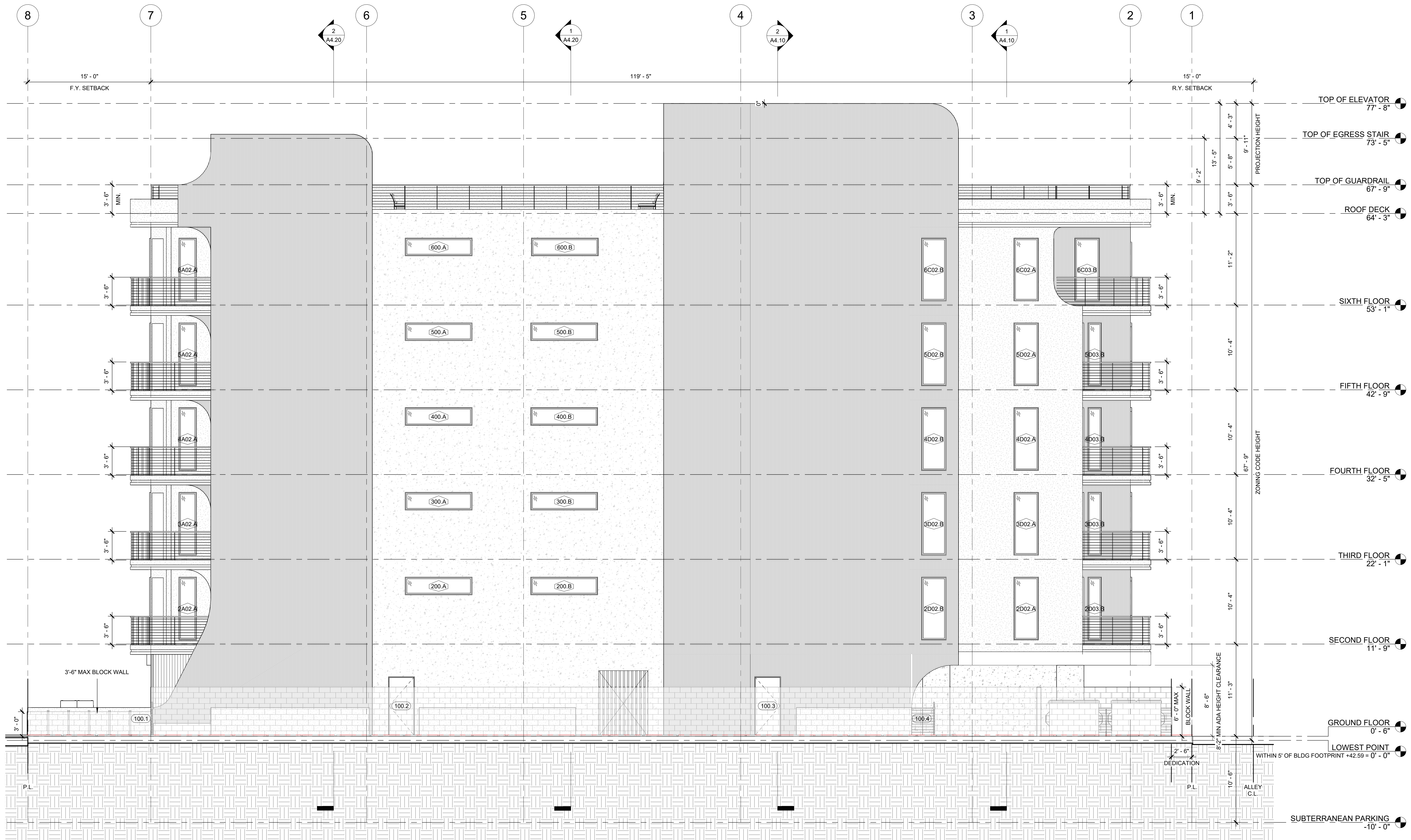
NOTE:
1. PROVIDE ANTI-GRAFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306

TAG

- METAL PANELS
SEE A0.05 FOR SPECS
- CEDAR T+G 1x6 (CLEAR VERTICAL GRAIN W/ CLEAR COAT)
SEE A0.05 FOR SPECS
- STUCCO (WHITE)
SEE A0.05 FOR SPECS
- DARK GRAY METAL

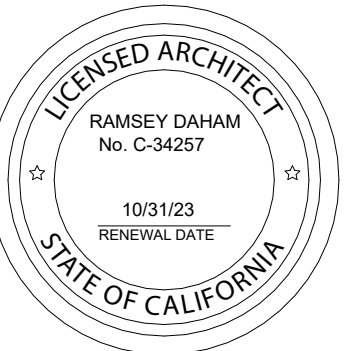
ELEVATION LEGEND

- PROPERTY LINE (PL)
- 1 HR
- 2 HR
- WINDOW TAG
- DOOR TAG
- ELEVATION MARKER



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[o] 310.322.3700



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Revision Schedule

Revision Number	Revision Date

ELEVATIONS

DRAWN _____ Author
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JOB # 23-A001

A3.10

NORTH ELEVATION
3/16" = 1'-0"

NOTE: 1. PROVIDE ANTI-GRAFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6306

TAG

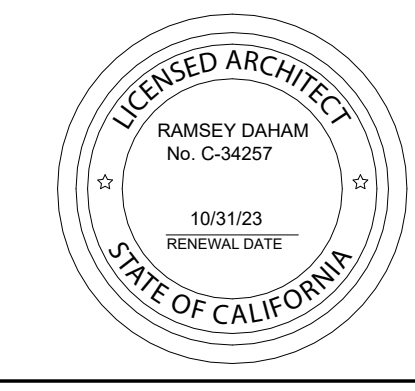
ELEVATION LEGEND

- METAL PANELS
SEE A0.05 FOR SPECS
- CEDAR T+G 1x6 (CLEAR VERTICAL GRAIN W/ CLEAR COAT)
SEE A0.05 FOR SPECS
- STUCCO (WHITE)
SEE A0.05 FOR SPECS
- DARK GRAY METAL
- PROPERTY LINE (PL)
- 1 HR
- 2 HR
- WINDOW TAG
- DOOR TAG
- ELEVATION MARKER



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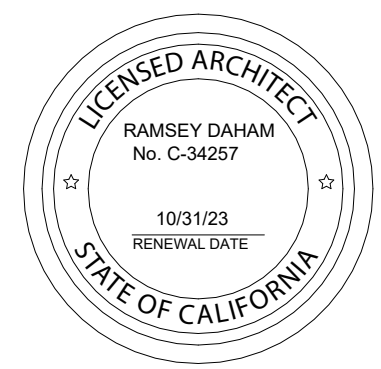


12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

ELEVATIONS

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:24 PM
SCALE	As indicated
JOB #	23-A001



Revision Schedule

Revision Number	Revision Date

OPENING ANALYSIS

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:32 PM
SCALE	As indicated
JOB #	23-A001



MAXIMUM UNPROTECTED / PROTECTED OPENINGS ALLOWED = 25% OPEN

6TH FLOOR OPENING AREA = 261.88 SF / WALL AREA = 1,312 SF = 19.96% OPEN

5TH FLOOR OPENING AREA = 293.39 SF / WALL AREA = 1,234.24 SF = 23.77% OPEN

4TH FLOOR OPENING AREA = 293.39 SF / WALL AREA = 1,234.24 SF = 23.77% OPEN

3RD FLOOR OPENING AREA = 293.39 SF / WALL AREA = 1,234.24 SF = 23.77% OPEN

2ND FLOOR OPENING AREA = 293.39 SF / WALL AREA = 1,234.24 SF = 23.77% OPEN

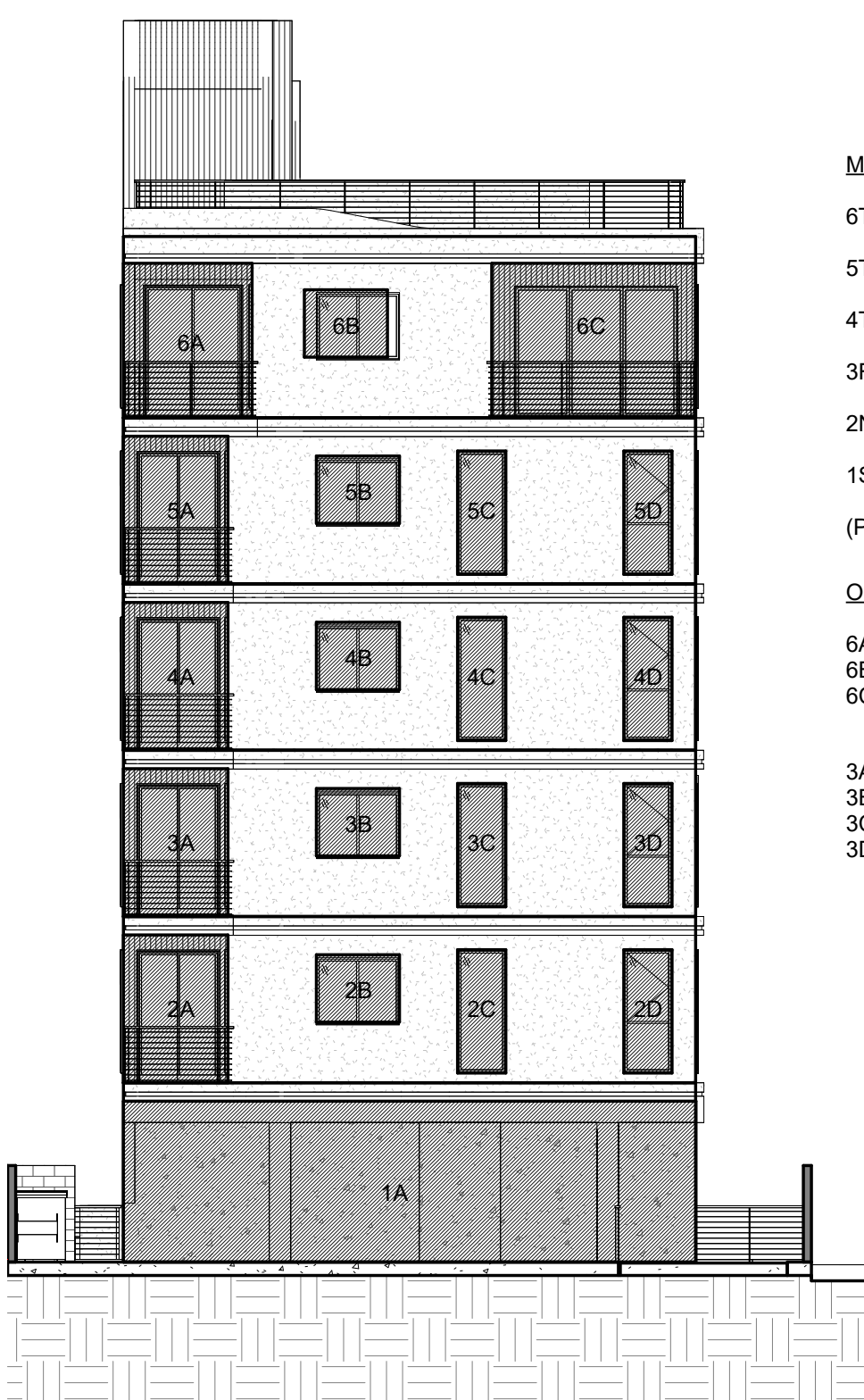
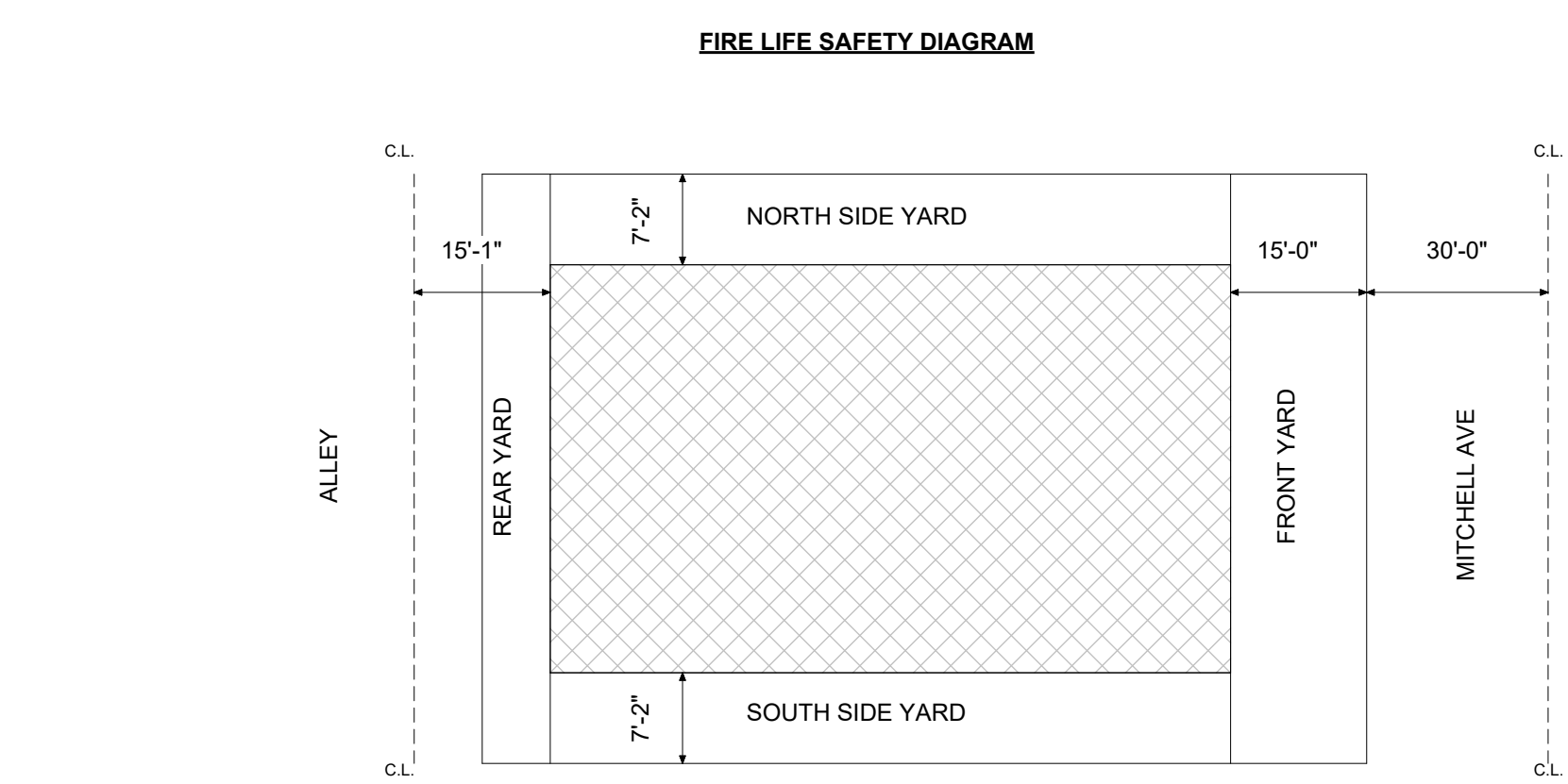
1ST FLOOR OPENING AREA = 1,039.50 SF / WALL AREA = 1,343.05 SF = 77.40% OPEN

OPENINGS

6A: 23.00 SF	5A: 23.00 SF	4A: 23.00 SF
6B: 7.00 SF	5B: 42.19 SF	4B: 42.19 SF
6C: 42.19 SF	5C: 23.00 SF	4C: 23.00 SF
6D: 23.00 SF	5D: 23.00 SF	4D: 23.00 SF
6E: 21.64 SF	5E: 129.20 SF	4E: 129.20 SF
6F: 115.05 SF	5F: 23.00 SF	4F: 23.00 SF
6G: 7.00 SF	5G: 7.00 SF	4G: 23.00 SF
6H: 23.00 SF	5H: 23.00 SF	4H: 23.00 SF

3A: 23.00 SF	2A: 23.00 SF	1A: 1,194.42 SF
3B: 42.19 SF	2B: 42.19 SF	
3C: 23.00 SF	2C: 23.00 SF	
3D: 23.00 SF	2D: 23.00 SF	
3E: 129.20 SF	2E: 129.20 SF	
3F: 23.00 SF	2F: 23.00 SF	
3G: 7.00 SF	2G: 7.00 SF	
3H: 23.00 SF	2H: 23.00 SF	

SOUTH ELEVATION - OPENING ANALYSIS
3/32" = 1'-0" 2



MAXIMUM UNPROTECTED / PROTECTED OPENINGS ALLOWED = 75% OPEN

6TH FLOOR OPENING AREA = 220.22 SF / WALL AREA = 401.62 SF = 54.83% OPEN

5TH FLOOR OPENING AREA = 127.36 SF / WALL AREA = 368.21 SF = 34.59% OPEN

4TH FLOOR OPENING AREA = 127.36 SF / WALL AREA = 368.21 SF = 34.59% OPEN

3RD FLOOR OPENING AREA = 127.36 SF / WALL AREA = 368.21 SF = 34.59% OPEN

2ND FLOOR OPENING AREA = 127.36 SF / WALL AREA = 368.21 SF = 34.59% OPEN

1ST FLOOR OPENING AREA = 356.00 SF / WALL AREA = 397.16 SF = 89.64% OPEN

(PARKING GARAGE OPENING PROTECTED BY WATER CURTAIN PER MODIFICATION REQUEST)

OPENINGS

6A: 78.83 SF	5A: 59.72 SF	4A: 59.72 SF
6B: 21.64 SF	5B: 21.64 SF	4B: 21.64 SF
6C: 121.75 SF	5C: 23.00 SF	4C: 23.00 SF
	5D: 23.00 SF	4D: 23.00 SF
3A: 59.72 SF	2A: 59.72 SF	1A: 356.00 SF
3B: 21.64 SF	2B: 21.64 SF	
3C: 23.00 SF	2C: 23.00 SF	
3D: 23.00 SF	2D: 23.00 SF	



MAXIMUM UNPROTECTED / PROTECTED OPENINGS ALLOWED = 25% OPEN

6TH FLOOR OPENING AREA = 198.55 SF / WALL AREA = 1,435.35 SF = 13.83% OPEN

5TH FLOOR OPENING AREA = 184.25 SF / WALL AREA = 1,362.29 SF = 13.52% OPEN

4TH FLOOR OPENING AREA = 184.25 SF / WALL AREA = 1,362.29 SF = 13.52% OPEN

3RD FLOOR OPENING AREA = 184.25 SF / WALL AREA = 1,362.29 SF = 13.52% OPEN

2ND FLOOR OPENING AREA = 184.25 SF / WALL AREA = 1,362.29 SF = 13.52% OPEN

1ST FLOOR OPENING AREA = 360.20 SF / WALL AREA = 1,362.29 SF = 26.44% OPEN

(PARKING GARAGE OPENING PROTECTED BY WATER CURTAIN PER MODIFICATION REQUEST)

OPENINGS

6A: 94.17 SF	5A: 90.09 SF	4A: 90.09 SF
6B: 17.69 SF	5B: 17.69 SF	4B: 17.69 SF
6C: 17.69 SF	5C: 17.69 SF	4C: 17.69 SF
6D: 23.00 SF	5D: 23.00 SF	4D: 23.00 SF
6E: 23.00 SF	5E: 23.00 SF	4E: 23.00 SF
6F: 23.00 SF	5F: 12.78 SF	4F: 12.78 SF
3A: 90.09 SF	2A: 86.73 SF	1A: 21.49 SF
3B: 17.69 SF	2B: 17.69 SF	1B: 22.43 SF
3C: 17.69 SF	2C: 17.69 SF	1C: 47.00 SF
3D: 23.00 SF	2D: 23.00 SF	1D: 22.43 SF
3E: 23.00 SF	2E: 23.00 SF	1E: 246.85 SF
3F: 12.78 SF	2F: 12.78 SF	

NORTH ELEVATION - OPENING ANALYSIS
3/32" = 1'-0" 1

WEST ELEVATION - OPENING ANALYSIS
3/32" = 1'-0" 3

MATERIAL LEGEND	
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 10 OMEGA WHITE - TEXTURE: ROUGH
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 240 JET GREY - TEXTURE: SMOOTH
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 10 OMEGA WHITE - TEXTURE: SMOOTH
	- MANUFACTURER: ATAS OR SIMILAR - PROFILE: METAFOR - COLOR: SATIN BLACK
	- COLOR: CLEAR COAT - ORIENTATION: HORIZONTAL & VERTICAL
	- MANUFACTURER: ALL WEATHER WINDOWS & DOORS - COLOR: BLACK - TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)
COLORTEK LIGHT LACE EXTERIOR STUCCO	6
COLORTEK SMOOTHCOAT EXTERIOR STUCCO	5
COLORTEK SMOOTHCOAT EXTERIOR STUCCO	4
CORUGATED METAL PANELS	3
CEDAR T+G 1x6	2
EXTERIOR WINDOWS / DOORS	1

ELEVATION LEGEND	
	DARK GREY SIDING
	1x4 CEDAR T+G SIDING
	SMOOTH STUCCO
	ROUGH STUCCO
	BLACK FLASHING
	PROPERTY LINE (PL)
	1 HR
	2 HR
	WINDOW TAG
	DOOR TAG
	ELEVATION MARKER

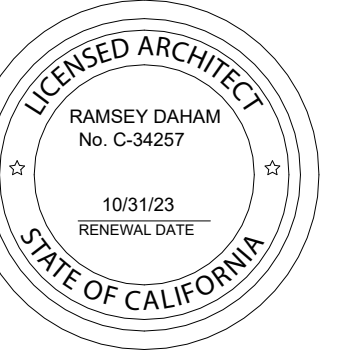


WEST ELEVATION
3/16" = 1'-0" 2

EAST ELEVATION
3/16" = 1'-0" 1

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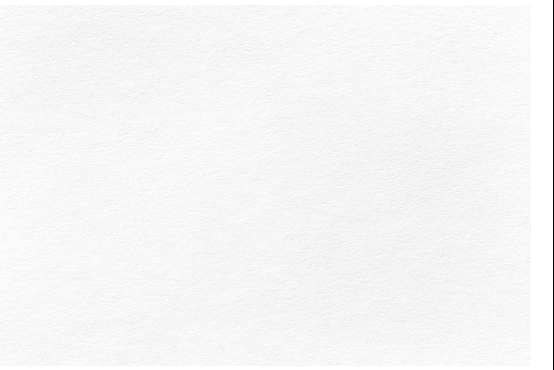
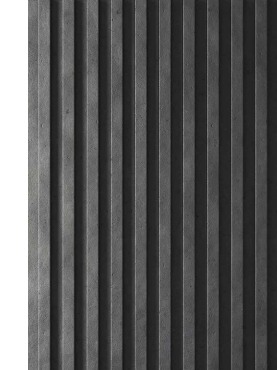

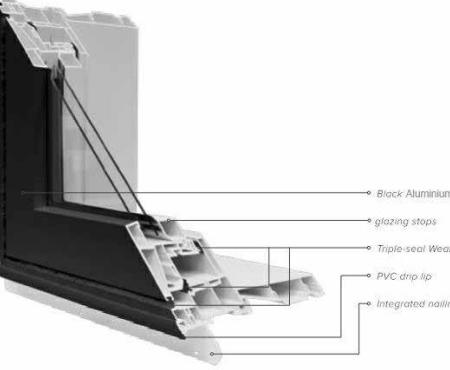
12747 MITCHELL AVE

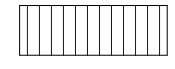
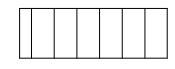

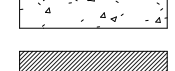



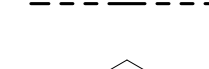



Revision Schedule

Revision Number	Revision Date

ELEVATIONS
COLOR/MATERIAL

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:39 PM
SCALE	As indicated
JOB #	23-A001

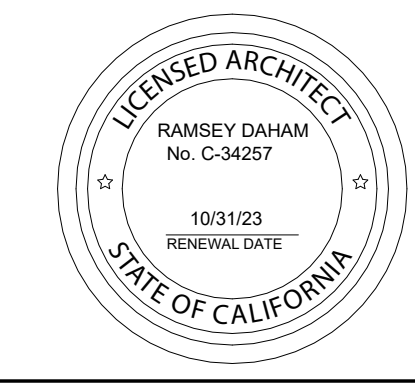
MATERIAL LEGEND	
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 10 OMEGA WHITE - TEXTURE: ROUGH
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 240 JET GREY - TEXTURE: SMOOTH
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 10 OMEGA WHITE - TEXTURE: SMOOTH
	- MANUFACTURER: ATAS OR SIMILAR - PROFILE: METAFOR - COLOR: SATIN BLACK
	- COLOR: CLEAR COAT - ORIENTATION: HORIZONTAL & VERTICAL
	- MANUFACTURER: ALL WEATHER WINDOWS & DOORS - COLOR: BLACK - TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)

ELEVATION LEGEND	
	DARK GREY SIDING
	1x4 CEDAR T+G SIDING
	SMOOTH STUCCO
	ROUGH STUCCO
	BLACK FLASHING
	PROPERTY LINE (PL)
	1 HR
	2 HR
	WINDOW TAG
	DOOR TAG
	ELEVATION MARKER



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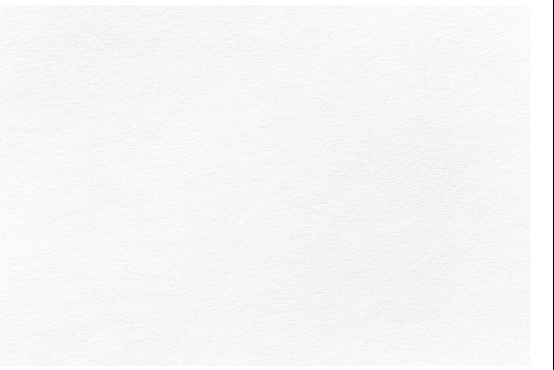
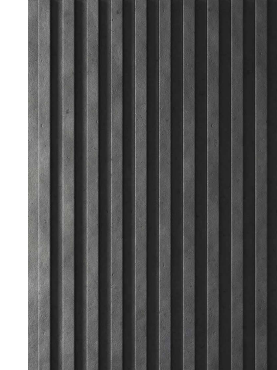

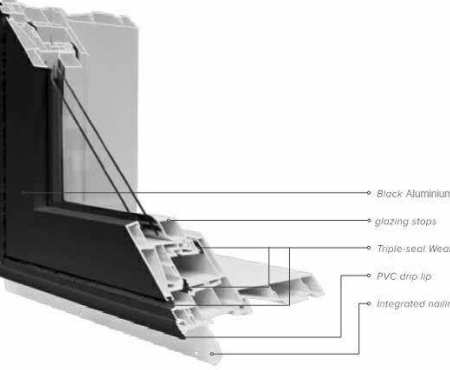


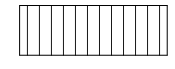
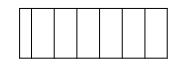
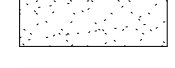
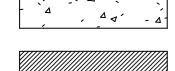

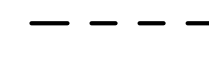

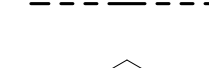



12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

**ELEVATIONS
COLOR/MATERIAL**

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:44 PM
SCALE	As indicated
JOB #	23-A001

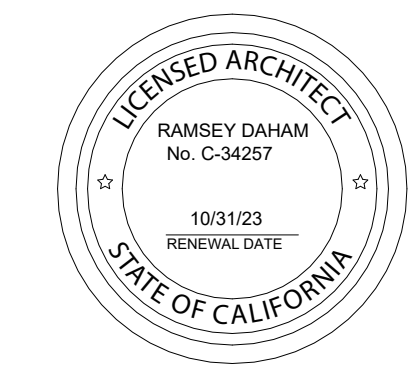
MATERIAL LEGEND	
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 10 OMEGA WHITE - TEXTURE: ROUGH
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 240 JET GREY - TEXTURE: SMOOTH
	- MANUFACTURER: OMEGA OR SIMILAR - COLOR: 10 OMEGA WHITE - TEXTURE: SMOOTH
	- MANUFACTURER: ATAS OR SIMILAR - PROFILE: METAFOR - COLOR: SATIN BLACK
	- COLOR: CLEAR COAT - ORIENTATION: HORIZONTAL & VERTICAL
	- MANUFACTURER: ALL WEATHER WINDOWS & DOORS - COLOR: BLACK - TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)
COLORTEK LIGHT LACE EXTERIOR STUCCO 6	COLORTEK SMOOTHCOAT EXTERIOR STUCCO 5
COLORTEK SMOOTHCOAT EXTERIOR STUCCO 4	CORUGATED METAL PANELS 3
CEDAR T+G 1x6 2	EXTERIOR WINDOWS / DOORS 1

ELEVATION LEGEND	
	DARK GREY SIDING
	1x4 CEDAR T+G SIDING
	SMOOTH STUCCO
	ROUGH STUCCO
	BLACK FLASHING
	PROPERTY LINE (PL)
	1 HR
	2 HR
	WINDOW TAG
	DOOR TAG
	ELEVATION MARKER



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Revision Schedule	
Revision Number	Revision Date

**ELEVATIONS
COLOR/MATERIAL**

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:48 PM
SCALE	As indicated
JOB #	23-A001

SECTION LEGEND

- 1 HR
- 2 HR
- X'-X" ELEVATION MARKER
- PROPERTY LINE
- EXISTING GRADE

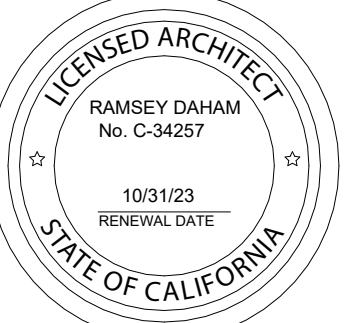
ASSEMBLY TYPES

- | WALLS | | FLOORS | |
|-------|---------------------------------------------|--------|------------------------------------------------------------|
| 1 | 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13) | 4-3 | CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13) |
| 2 | 2x6 PLUMBING WALL ASSM. (2/A0.13) | 4-4 | CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13) |
| 3 | 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13) | 4-5 | CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13) |
| 4 | 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13) | 8 | WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13) |
| 5 | 1-HR DOUBLE WALL ASSM. (5/A0.13) | 8-2 | WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13) |
| 6 | CONC. WALL PER STRC. (6/A0.13) | 8-1 | WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13) |
| 7 | CONC. RETAINING WALL PER STRC. (7/A0.13) | 8-2 | WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13) |
| 8 | CMU WALL PER STRC. (8/A0.13) | | |
| 9 | 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13) | | |



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12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

PROPOSED SECTIONS	
DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:52 PM
SCALE	As indicated
JOB #	23-A001

Section 2
3/16" = 1'-0" **2**

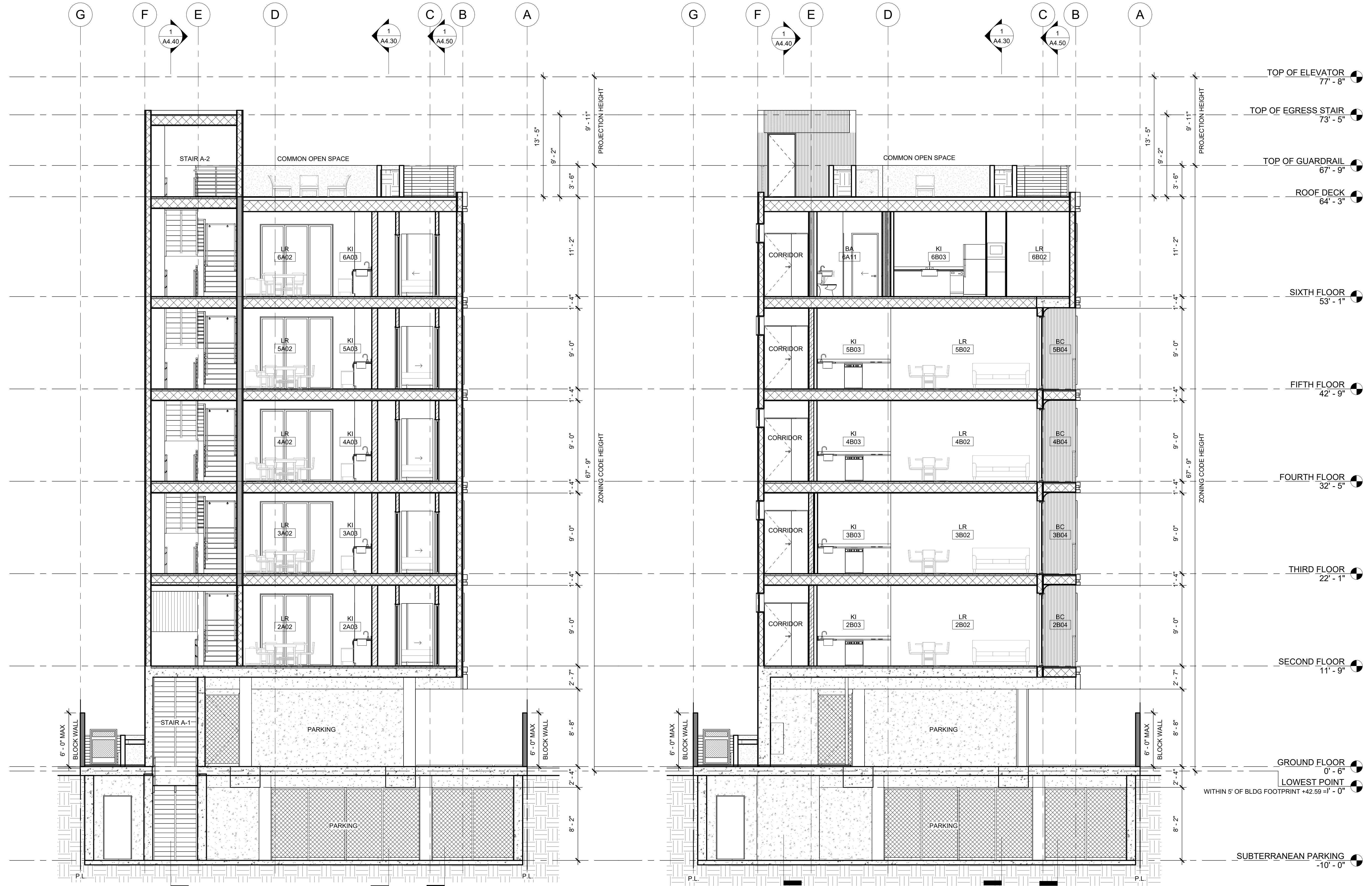
Section 1
3/16" = 1'-0" **1**

SECTION LEGEND

- 1 HR
- 2 HR
- X'-X" ELEVATION MARKER
- PROPERTY LINE
- EXISTING GRADE

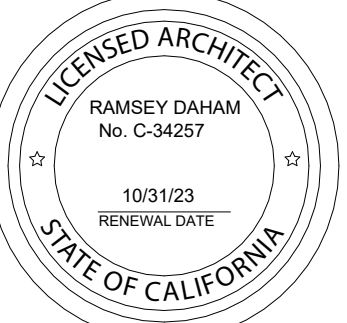
ASSEMBLY TYPES

- | WALLS | FLOORS |
|-----------------------------------------------|----------------------------------------------------------------|
| ① 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13) | Ⓐ CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13) |
| ② 2x6 PLUMBING WALL ASSM. (2/A0.13) | Ⓐ-1 CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13) |
| ③ 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13) | Ⓐ-2 CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13) |
| ④ 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13) | Ⓑ WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13) |
| ⑤ 1-HR DOUBLE WALL ASSM. (5/A0.13) | Ⓑ-1 WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13) |
| ⑥ CONC. WALL PER STRC. (6/A0.13) | Ⓑ-2 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13) |
| ⑦ CONC. RETAINING WALL PER STRC. (7/A0.13) | Ⓑ-3 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13) |
| ⑧ CMU WALL PER STRC. (8/A0.13) | |
| ⑨ 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13) | |



Section 4
3/16" = 1'-0"
2

Section 3
3/16" = 1'-0"
1



12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

PROPOSED SECTIONS

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:36:54 PM
SCALE	As indicated
JOB #	23-A001

SECTION LEGEND

- 1 HR
- 2 HR
- X-X" ELEVATION MARKER
- PROPERTY LINE
- EXISTING GRADE

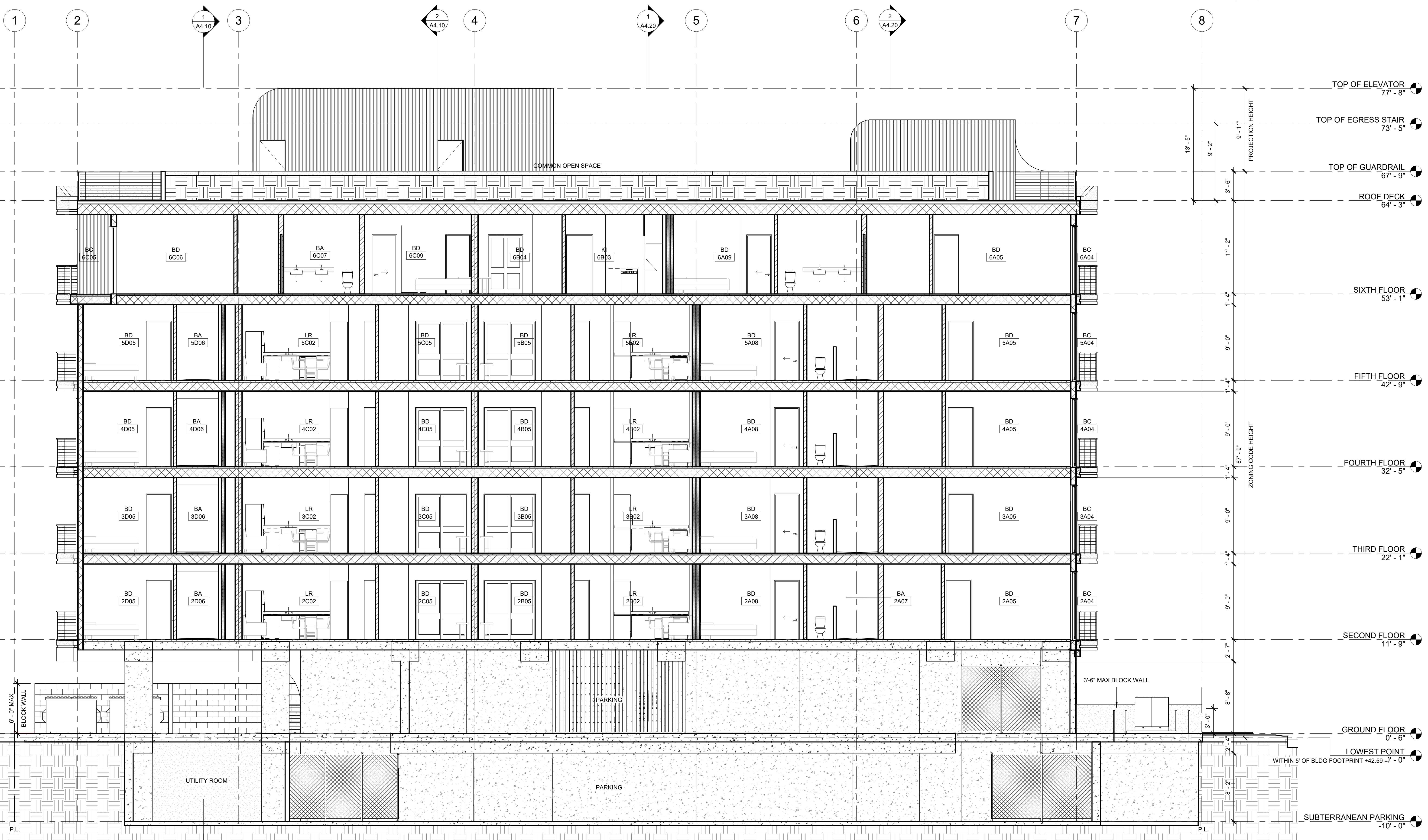
ASSEMBLY TYPES

WALLS

- 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13)
- 2x6 PLUMBING WALL ASSM. (21A0.13)
- 1-HR 2x6 INTERIOR WALL ASSM. (31A0.13)
- 1-HR 2x6 EXTERIOR WALL ASSM. (41A0.13)
- 1-HR DOUBLE WALL ASSM. (51A0.13)
- CONC. WALL PER STRC. (61A0.13)
- CONC. RETAINING WALL PER STRC. (71A0.13)
- CMU WALL PER STRC. (81A0.13)
- 2-HR INTERIOR CORRIDOR WALL ASSM. (91A0.13)

FLOORS

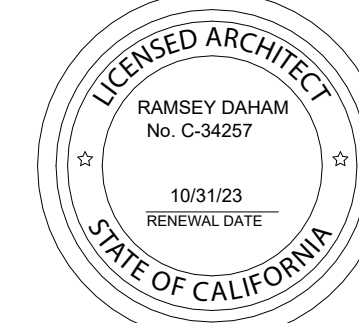
- CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (101A0.13)
- CONC FLOOR PER STRC. W/ WOOD FINISH (111A0.13)
- CONC FLOOR PER STRC. W/ TILE FINISH (121A0.13)
- WOOD JOIST PER STRC. W/ WOOD FINISH (131A0.13)
- WOOD JOIST PER STRC. W/ TILE FINISH (141A0.13)
- WOOD JOIST W/ WOOD DECK PER SPEC. (151A0.13)
- WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (161A0.13)



- TOP OF ELEVATOR 77'-8"
- TOP OF EGRESS STAIR 73'-5"
- TOP OF GUARDRAIL 67'-9"
- ROOF DECK 64'-3"
- SIXTH FLOOR 53'-1"
- FIFTH FLOOR 42'-9"
- FOURTH FLOOR 32'-5"
- THIRD FLOOR 22'-1"
- SECOND FLOOR 11'-9"
- GROUND FLOOR 0'-6"
- LOWEST POINT 0'-0"
- SUBTERRANEAN PARKING -10'-0"

PROJECTION HEIGHT
ZONING CODE HEIGHT

13'-5"
9'-2"
9'-11"
3'-6"
11'-2"
1'-4"
9'-0"
1'-4"
9'-0"
1'-4"
9'-0"
1'-4"
9'-0"
2'-7"
8'-8"
3'-0"



12747 MITCHELL AVE

Revision Schedule

Revision Number	Revision Date

PROPOSED SECTIONS

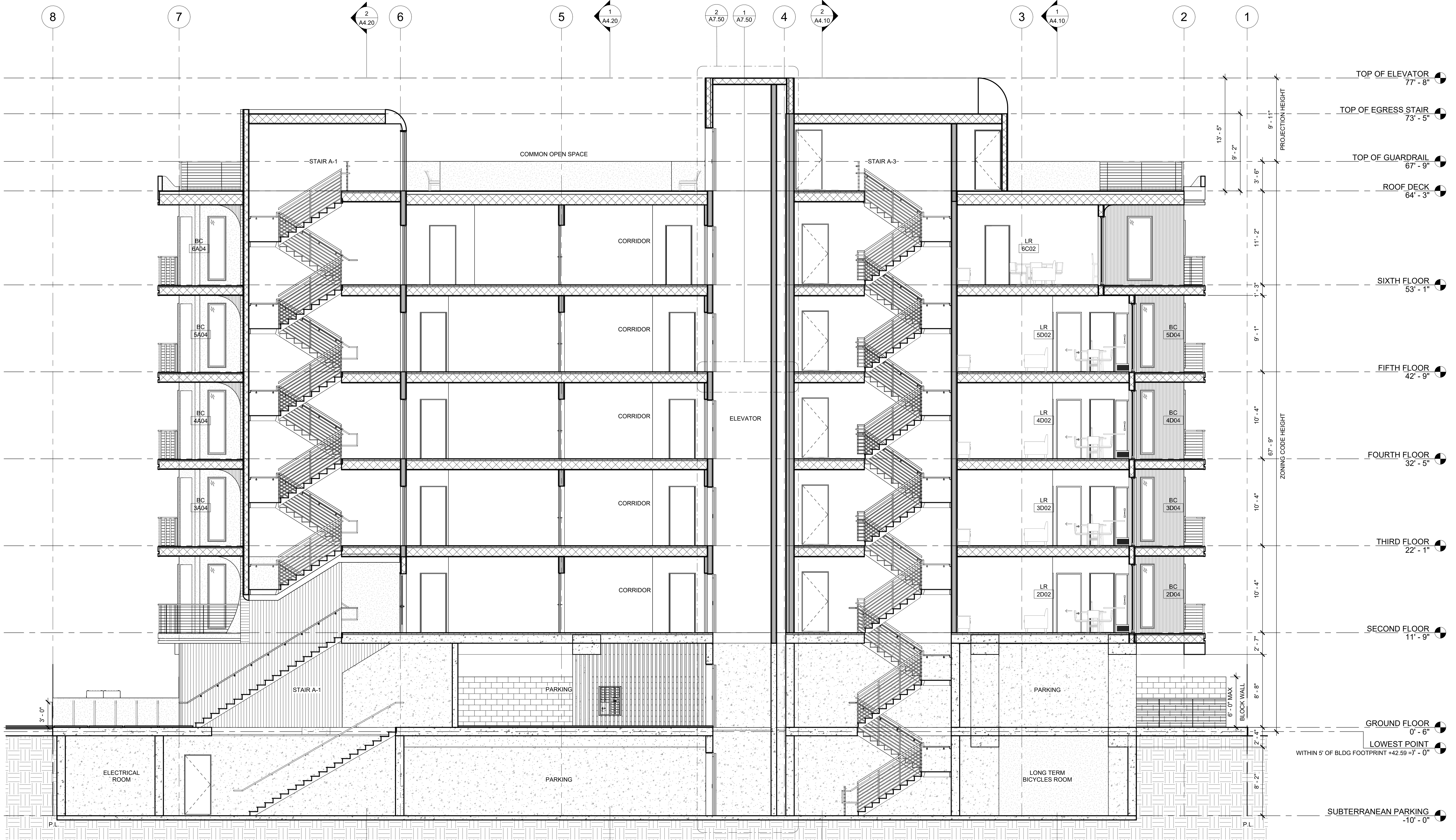
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CHECKED Checker
DATE 9/7/2023 4:36:55 PM
SCALE As indicated
JOB # 23-A001

SECTION LEGEND

- 1 HR
- 2 HR
- ⊙ X'-X" ELEVATION MARKER
- - - - - PROPERTY LINE
- ===== EXISTING GRADE

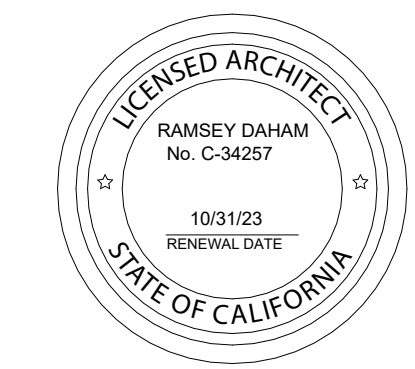
ASSEMBLY TYPES

- | WALLS | | FLOORS | |
|-------|---------------------------------------------|--------|------------------------------------------------------------|
| ① | 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13) | ⊙-3 | CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13) |
| ② | 2x6 PLUMBING WALL ASSM. (2/A0.13) | ⊙-4 | CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13) |
| ③ | 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13) | ⊙-5 | CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13) |
| ④ | 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13) | ⊙-6 | WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13) |
| ⑤ | 1-HR DOUBLE WALL ASSM. (5/A0.13) | ⊙-7 | WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13) |
| ⑥ | CONC. WALL PER STRC. (6/A0.13) | ⊙-8 | WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13) |
| ⑦ | CONC. RETAINING WALL PER STRC. (7/A0.13) | ⊙-9 | WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13) |
| ⑧ | CMU WALL PER STRC. (8/A0.13) | | |
| ⑨ | 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13) | | |



- TOP OF ELEVATOR 77'-8"
- TOP OF EGRESS STAIR 73'-5"
- TOP OF GUARDRAIL 67'-9"
- ROOF DECK 64'-3"
- SIXTH FLOOR 53'-1"
- FIFTH FLOOR 42'-9"
- FOURTH FLOOR 32'-6"
- THIRD FLOOR 22'-1"
- SECOND FLOOR 11'-9"
- GROUND FLOOR 0'-6"
- LOWEST POINT WITHIN 5' OF BLDG FOOTPRINT (+42.59') 0'-0"
- SUBTERRANEAN PARKING -10'-0"

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 127 arena street, el segundo, ca 90245
 [o] 310.322.3700



12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

PROPOSED SECTIONS

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DATE	9/7/2023 4:36:58 PM
SCALE	As indicated
JOB #	23-A001

SECTION LEGEND

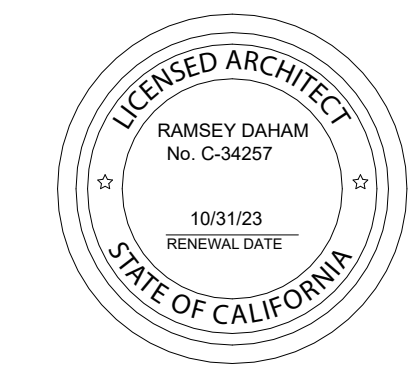
- 1 HR
- 2 HR
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- PROPERTY LINE
- EXISTING GRADE

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12747 MITCHELL AVE

Revision Schedule

Revision Number	Revision Date

PROPOSED SECTIONS

DRAWN	Author
CHECKED	Checker
DATE	9/7/2023 4:37:01 PM
SCALE	As indicated
JOB #	23-A001

PLANTING NOTES

- QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.
- ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE.
- CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.
- CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
- THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.
- REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO PREPARATION & AGAIN PRIOR TO PLANTING.
- SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.

- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
- GROUNDCOVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUNDCOVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT LEGEND.

- TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS. **"THE SUBDIVIDER SHALL RECORD A COVENANT AND AGREEMENT SATISFACTORY TO THE ADVISORY AGENCY GUARANTEEING THAT:**

- THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
- SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION.
- THE DEVELOPER/BUILDER SHALL MAINTAIN THE LANDSCAPING AND IRRIGATION FOR 60 DAYS AFTER COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION.
- THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION."

- ALL PLANTING AREAS SHALL BE LOOSENEED TO A DEPTH OF 8". APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 15 LBS. OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 6" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
- FOR ALL TREES AND SHRUB PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
SITE SOIL - 6 PARTS BY VOLUME
ORGANIC AMENDMENT - 4 PARTS BY VOLUME
SOIL CONDITIONER / FERTILIZER 10-10-10-1L.B. PER C.Y. OF MIX
IRON SULFATE - 2 LBS. PER C.Y. OF MIX
- TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE.
- RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLYS WITH THE PERFORMANCE APPROACH.
DATE _____ SIGNED _____
- AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

- IRRIGATION NOTES**
- CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTRUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS.

- ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN. 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL BE ON A SEPARATE VALVE.
- SPRAY OR ROTOR HEADS SHALL BE ON POP-UPS: 6" FOR LAWN, LOW GROUNDCOVER OR PARKED CAR OVERHANG AREAS, 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ONLY ALLOWED ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.
- LOCATE SPRAY HEADS 24" FROM NON-PERVIOUS PAVING TO PREVENT OVERSPRAY. EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY IRRIGATION. ROTATOR OR ROTARY HEADS MAYBE LOCATED 12" FROM PAVING.
- CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODULE AND SENSOR TO PROVIDE WEATHER BASED INFORMATION THAT WILL AUTOMATE THE IRRIGATION RUNTIMES BASED ON WEATHER. SEE HUNTER SOLAR SYNC, RAINBIRD ET MANAGER OR EQUIVALENT.
- THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
- SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12.40 G LAMC.)
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- STATEMENTS AND CERTIFICATION**
- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
 - A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
 - A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
 - AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

PROJECT DESCRIPTION: NEW 19 UNITS APARTMENT SIX STORY BUILDING WITH GROUND FLOOR AND SUBTERRANEAN PARKING

PROJECT ADDRESS: 12747 - 12749 MITCHELL AVE LOS ANGELES, CA 90066

LOT SIZE: 50' x 141.97' (PER PARCEL MAP)

LOT AREA: 7,100.3 SF (PER ASSESSOR)

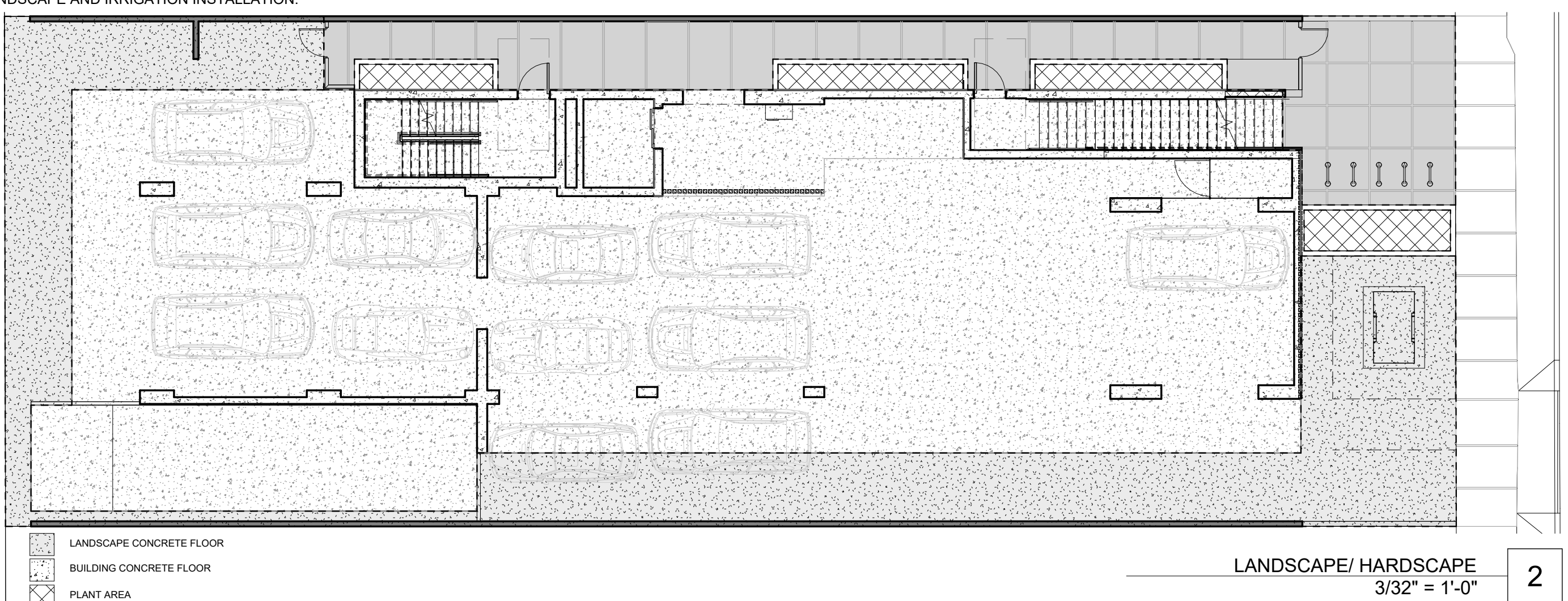
ASSESSOR'S PARCEL NUMBER: 4236019024

TRACT: DELMAR

BLOCK: NONE

LOT: 188

ZONING: R3-1

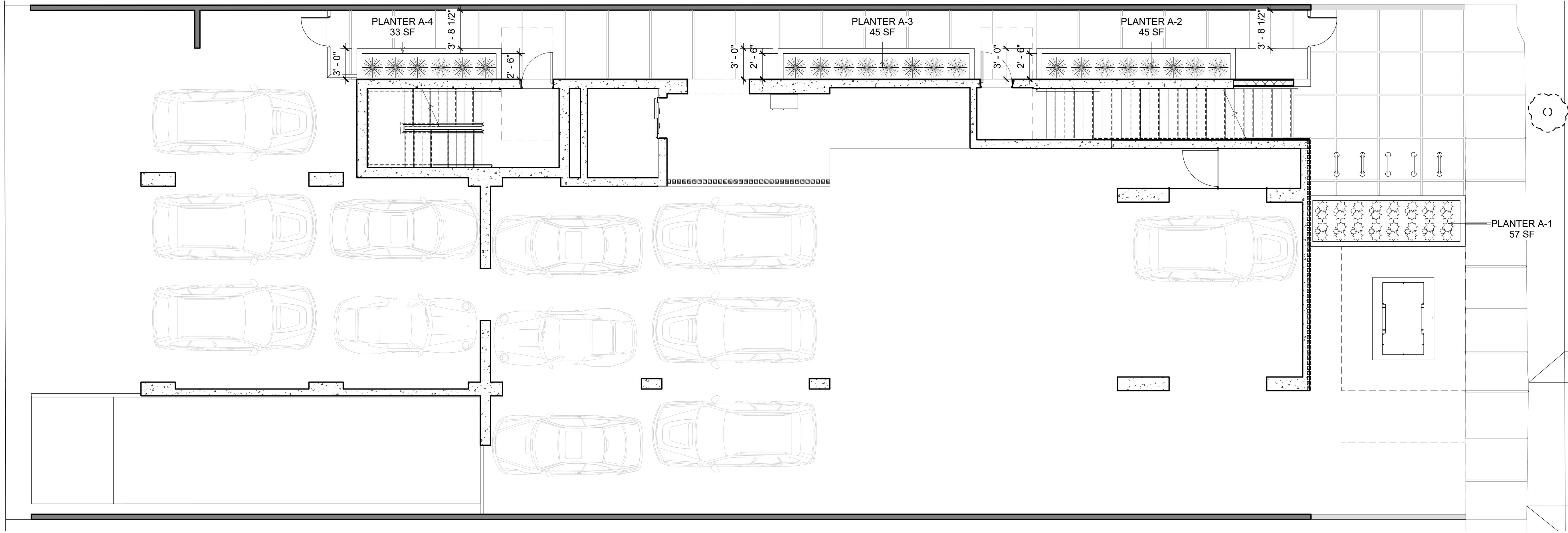
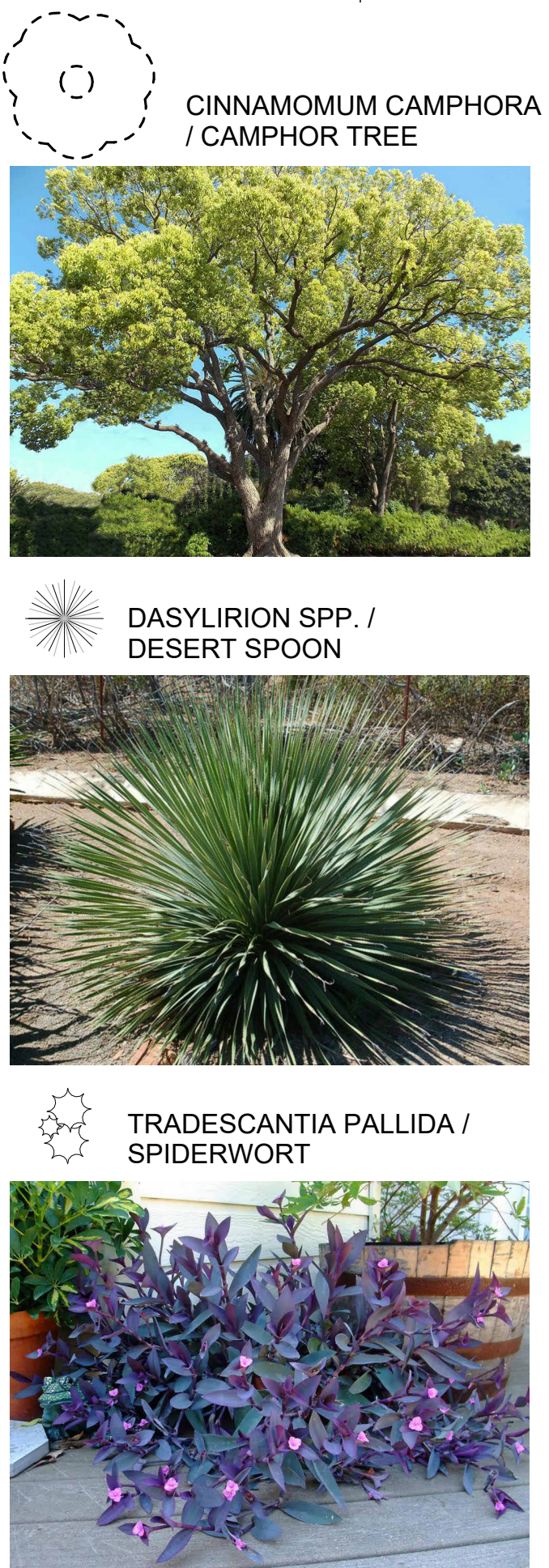
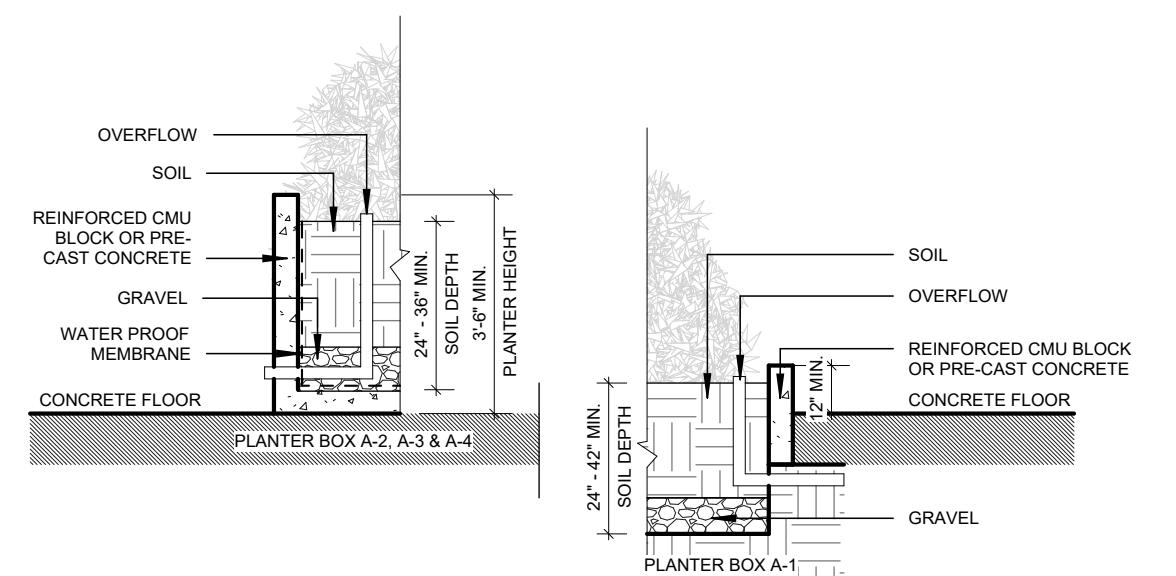


PLANTING LEGEND								
SYMBOL	QTY.	SIZE	SPREAD	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES	HYDRO ZONE
	1	35'	30'	CINNAMOMUM CAMPHORA / CAMPHOR TREE	NO	MEDIUM	0.4	1
	22	12"	6" - 9"	DASYLIRION SPP. / DESERT SPOON	NO	VERY LOW	0.2	1
	16	36" - 48"	24" - 36"	TRADESCANTIA PALLIDA / SPIDERWORT	NO	MEDIUM	0.4	1

HARDSCAPE			
IMPERVIOUS	- LANDSCAPE CONCRETE FLOOR	1,506 S.F.	
	- BUILDING CONCRETE FLOOR	4,538 S.F.	
PERVIOUS		823 S.F.	
TOTAL		6,867 S.F.	

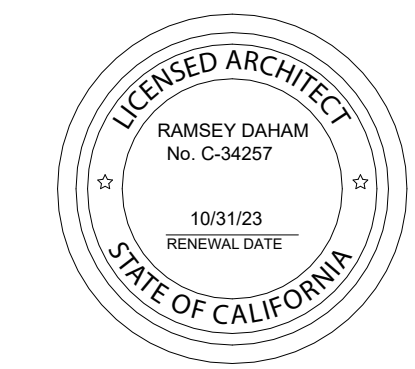
LANDSCAPE			
	TURF AREA	0 S.F.	
	PLANT AREA	180 S.F.	
TOTAL		180 S.F.	

PLANTER BOX SIZE			
PLANTER BOX	SIZE	HEIGHT	SOIL DEPTH
(A-1)	PER PLAN	1'-0"	24" TO 42"
(A-2)	PER PLAN	3'-6"	24" TO 36"
(A-2)	PER PLAN	3'-6"	24" TO 36"



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[o] 310.322.3700



12747 MITCHELL AVE

Revision Schedule	
Revision Number	Revision Date

LANDSCAPE PLAN

DRAWN _____ Author

CHECKED _____ Checker

DATE 9/13/2023 4:41:34 PM

SCALE As indicated

JOB # 23-A001

GROUND FLOOR PLAN - LANDSCAPE
3/16" = 1'-0"

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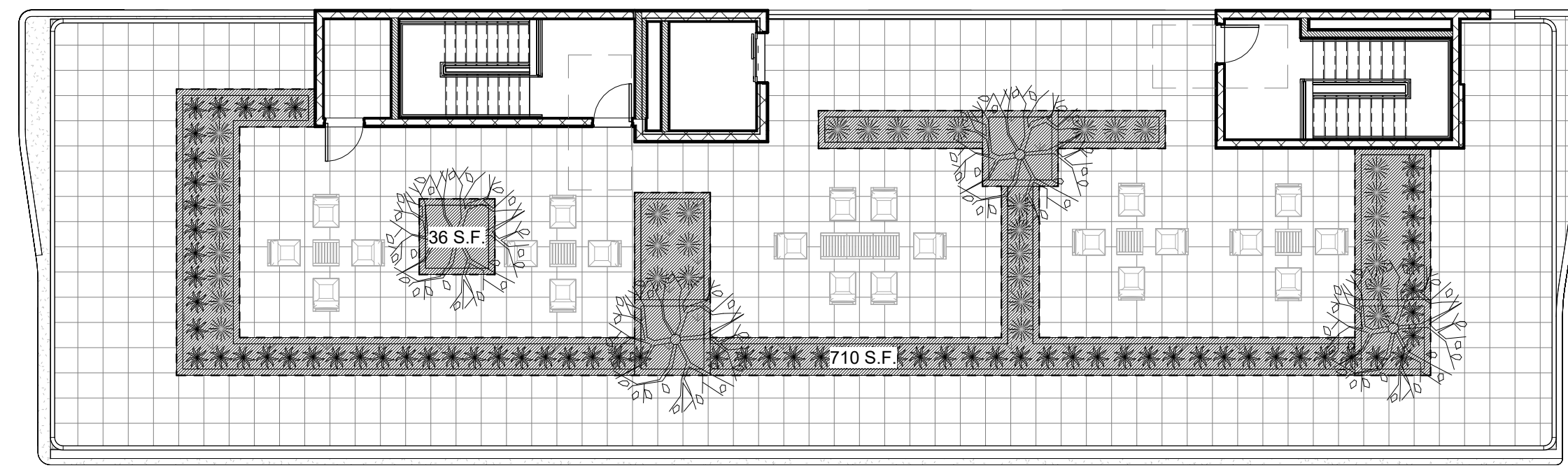
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STATEMENTS AND CERTIFICATION

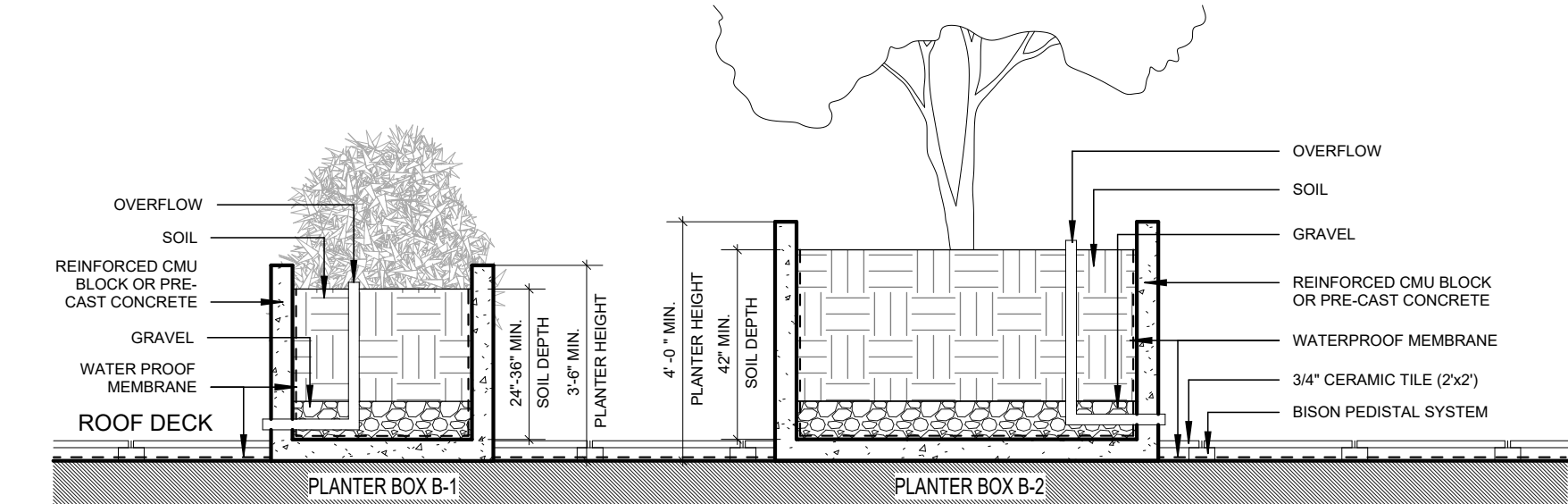
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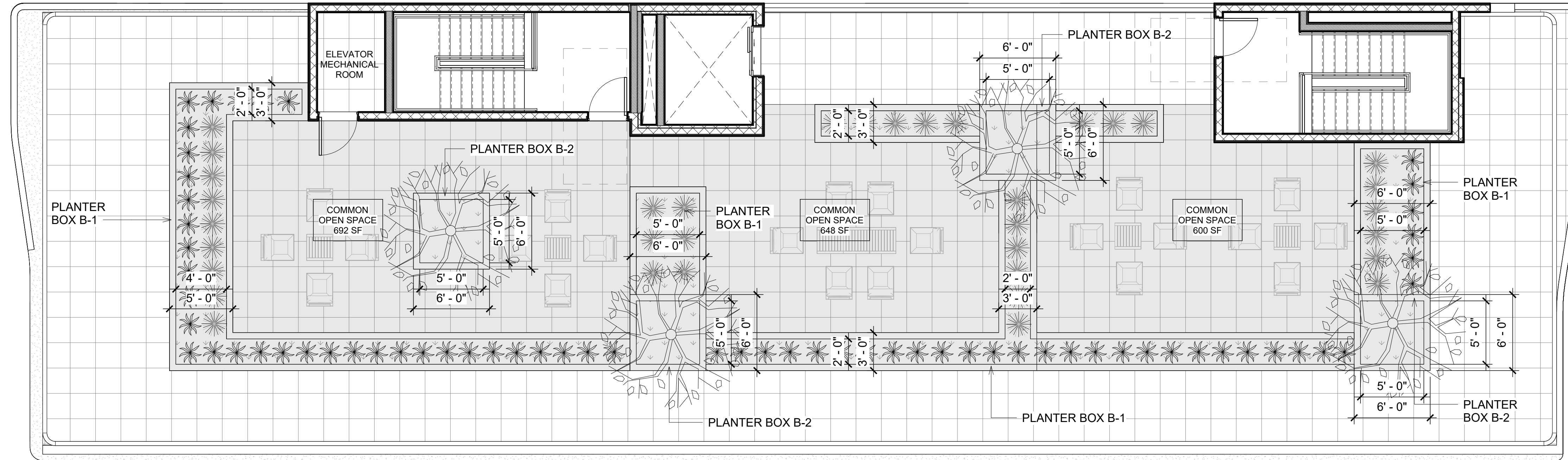
PLANTING LEGEND								
SYMBOL	QTY.	SIZE	SPREAD	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES	HYDRO ZONE
	4	15'-25'	N/A	CERCIS OCCIDENTALIS / WESTERN REDBUD	NO	LOW	0.3	1
	65	2'-3'	12"	SANSEVIERIA SPP. / MOTHER-IN-LAW'S TONGUE	NO	LOW	0.3	1
	35	12"	6" - 9"	DASYLIRION SPP. / DESERT SPOON	NO	VERY LOW	0.2	1

COMMON OPEN SPACE: 692 SF + 648 SF + 600 SF = 1,940 SF
 REQUIRED PLANTING AREA: 25% OF THE COMMON OPEN SPACE = 485 SF
 PROVIDED PLANTING AREA: 710 SF + 36 SF = 746 SF

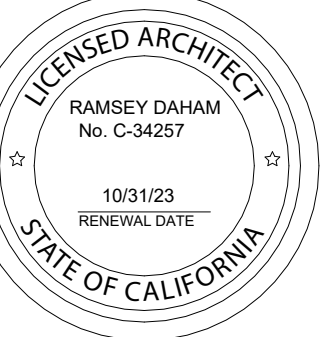
PLANTER BOX SIZE				
PLANTER BOX	WIDE	LENGTH	HEIGHT	SOIL DEPTH
(B-1)	2'-8"	3'-6"	3'-6"	36"
(B-2)	6'-0"	6'-0"	4'-0"	42"



ROOF DECK - LANDSCAPE PLAN DIAGRAM
3/32" = 1'-0" 2



ROOF DECK - LANDSCAPE
3/16" = 1'-0" 1



Revision Schedule

Revision Number	Revision Date

LANDSCAPE PLAN

DRAWN	Author
CHECKED	Checker
DATE	9/13/2023 4:41:38 PM
SCALE	As indicated
JOB #	23-A001